



**NOTICE OF WORKSHOP AND REGULAR TOWN COUNCIL  
MEETING FOR THE TOWN OF CROSS ROADS  
LOCATION: 1401 FM 424, CROSS ROADS, TEXAS  
Monday, March 21, 2016  
WORKSHOP SESSION – 6:00 P.M.  
REGULAR SESSION – 7:00 P.M.**

**WORKSHOP SESSION 6:00 P.M.**

Call to Order

Discussion of agenda items posted for consideration on the Regular Session Agenda for March 21, 2016.

**CONVENE INTO REGULAR SESSION – ESTIMATED START TIME 7:00 P.M.**

1. Roll Call
2. Mayor's Announcements and Updates
3. Citizens Input for Items **ON** the Agenda  
*Complete a Citizens Input form, and hand it to the Town Secretary. Please limit your comments to three minutes in duration and you are restricted from passing your time or any portion of unused minutes on to another citizen for comment.*
4. Citizen Input for items **NOT** on the Agenda  
*Complete a Citizens Input form, and hand it to the Town Secretary. Please limit your comments to three minutes in duration and you are restricted from passing your time or any portion of unused minutes on to another citizen for comment. Action on your statement may only be taken at a future meeting.*

**CONVENE INTO PUBLIC HEARING**

Conduct a public hearing to hear public input regarding Glenn Floyd Replat 2016-0201-02RP

Conduct a public hearing for discussion of proposing an amendment to section 14.03.076 (d) in regards to commercial setbacks

**RECONVENE INTO REGULAR SESSION**

5. Consider and take appropriate action regarding Glenn Floyd Replat 2016-0201-04RP

6. Consider and take appropriate action to proposing an amendment to section 14.03.076 (d) in regards to commercial setbacks
7. Consider and take appropriate action regarding Popeye's Replat 2016-0201-02 RP
8. Consider and take appropriate action regarding Popeye's Building Application 2015-1216-01C
9. Consider and take appropriate action regarding Cross Roads Carwash Replat 2016-0201-03R
10. Consider and take appropriate action regarding the following Cross Roads Carwash variances
  - a. Variance 2016-0318-01 Landscape
  - b. Variance 2016-0318-03 Setbacks
11. Consider and take appropriate action regarding Cross Roads Carwash Tree Removal Application 2016-0318-01TR
12. Consider and take appropriate action regarding Cross Roads Carwash Building Application 2016-0201-03C
13. Consider and take appropriate action amending sections of the Town of Cross Roads sign ordinance
14. Consider and take appropriate action to award an RFP contract regarding Naylor Road
15. Consider and take appropriate action to direct staff to issue a RFP contract regarding Fishtrap Road improvements
16. Consider and take appropriate action regarding land acquisition

### **Consent Agenda**

*The following may be acted upon in one motion, a Town Council Member or a citizen may request items be removed from the Consent Agenda for individual consideration*

17. Consider and take appropriate action regarding February 15, 2016 Regular Session Town Council Meeting Minutes
18. Consider and take appropriate action regarding the February 2016 Financial Reports

19. Consider and take appropriate action regarding the Special Session Town Council

Meeting Minutes

End of consent agenda

Adjourn

Future meetings and events:

All scheduled meetings are held in the Council Chambers. All citizens are invited to participate; schedule may change.

- Town Council Meeting – Monday, March 21, 2016 at 7:00 p.m.
- Administrative Staff Meeting – Monday, April 4, 2016 at 3:00 p.m.
- Planning & Zoning Commission – Tuesday, April 5, 2016 at 7:00 p.m.
- Park Board Committee Meeting – Tuesday, April 12, 2016 at 7:00 p.m.
- Municipal Development Meeting – Thursday, April 14, 2016 at 7:00 p.m.
- Architectural Review Commission – Thursday, April 14, 2016 at 7:00 p.m.
- Northeast Police Department Commission – Thursday, April 21, 2016 at 7:00 p.m.

**CERTIFICATION**

I, the undersigned authority, do hereby certify that this Public Meeting Notice was posted on the official bulletin board at the Town Hall of the Town of Cross Roads, Texas on Friday, March 18, 2016 by 5:00 p.m., in accordance with Chapter 551, Texas Government Code.

As authorized by Section 551.071 of the Texas Government Code, this meeting may be convened into closed executive session for seeking confidential legal advice from the Town Attorney on any agenda item listed herein.

This facility is wheelchair accessible and accessible parking spaces are available. For requests, please contact Town Hall at 940-365-9693. Reasonable accommodations will be made to assist your needs.

\_\_\_\_\_  
Teddi Lee  
Town Secretary

I certify that the attached notice and agenda of items to be considered by the Town Council of the Town of Cross Roads was removed by me from the front window of the Town of Cross Roads Town Hall, 1401 FM 424, Cross Roads, Texas, on the \_\_\_\_\_ day of \_\_\_\_\_, 2016

\_\_\_\_\_, Title: \_\_\_\_\_

RECEIVED

FEB 01 2016

Town of Cross Roads

TOWN OF CROSS ROADS  
PLATTING APPLICATION



DATE: 2-1-16

APPLICATION # 2016-0001-04RP

PROJECT: \_\_\_\_\_

Completed applications will be considered received on the due date specified on the yearly Submission Schedule.  
PLEASE VERIFY MEETING DATES.

TYPE OF PLAT

Preliminary  Final  Administrative/Amending  Replat

PLEASE SPECIFY THE PRIMARY CONTACT

Land Owner Name Glenn Floyd Signature Glenn Floyd by RR

Applicant Name Richard Floyd Signature Richard Floyd

Project Contact Mailing Address 800 North Locust, Denton 76201

Project Contact Phone 940-595-0311 Email 459floyd@gmail.com

Proposed Project Name Oak View Addition Location Moseley Rd.  
Lot/Block Lot 2, oakview Addition Abstract RJ Moseley #803  
DCAD ID 243016  
Number of Lots Created 3

SUBMISSION DOCUMENTS

Fee \$1000 deposit + 160 = \$1,160

Map \_\_\_\_\_  
Site Plan (Commercial) NA

Legal Description see attached  
List of Neighbors see attached  
Stamped/Addressed Envelopes attached  
Drawings (4 full, 2 half) attached  
OTHER (Specify) \_\_\_\_\_

APPLICATION EXPLANATION

Explanation and Description of Request or Project  
Replat 6 acre tract into 3 smaller tracts of approximately 2 acres.

Before submitting an application, the applicant should consult with the Town Administrator to discuss the feasibility of the request and any additional requirements.

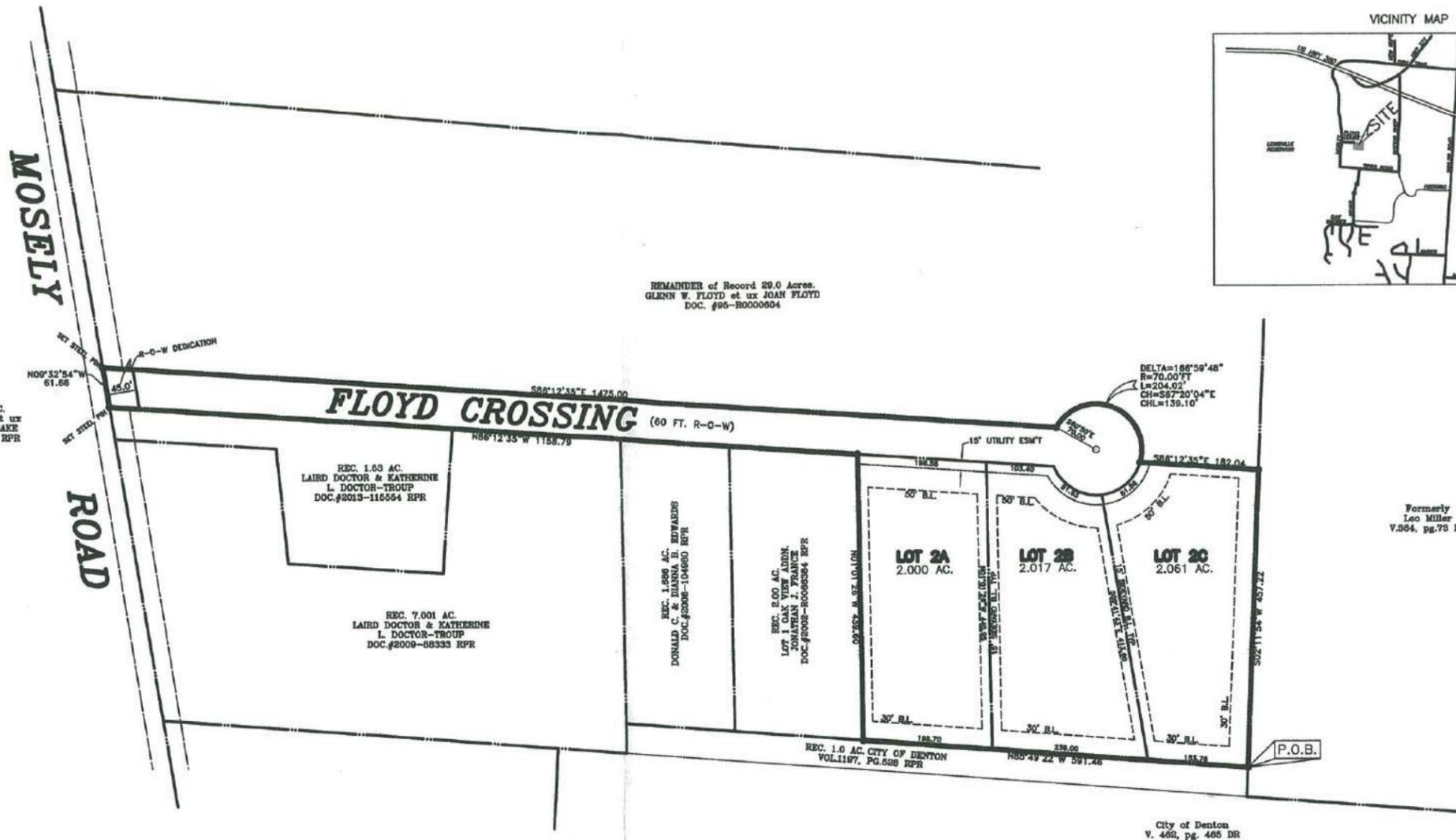


City of Cross Roads,  
Denton County,  
Texas



NOTE:  
Lot corners are marked by an one-half inch iron rod set with cap marked "J.E. SMITH 3700" unless otherwise noted.

REC. 19,722 AC.  
CERIL R. DRAKE et ux  
LUCILLE GAYE DRAKE  
VOL.8821, PG.498 RPR



WHEREAS, Glenn W. Floyd and Joan Floyd are the owners of that certain tract or parcel of land lying and being situated in the City of Crossroads, Denton County, Texas, a part of the R. J. MOSLEY SURVEY, ABSTRACT NO. 803, and being out of and a part of that record 29.0 acres conveyed by deed to Glen W. Floyd, and wife, Joan Floyd, as recorded under Clerk's Document No. 95-0000604, said tract or parcel of land is herein described as follows; to wit:

BEGINNING at an one-half inch iron rod set with cap marked "J.E. SMITH 3700" (herein after called one-half inch iron rod set) at the southeast corner of said 29.0 acres for the southeast corner of Lot 2, OAKVIEW ADDITION PHASE ONE, an addition to the City of Crossroads according to the plat thereof recorded in Cabinet U, page 386 of the Denton County Plat Records, said corner being the southeast corner of the premises herein described;  
THENCE along the north line of a 1.0 acre tract described in a deed to the City of Denton recorded in Volume 1197, page 528 of the Denton County Deed Records, north 85 degrees 49 minutes 22 seconds west 591.48 feet to an one-half inch iron rod set at the southwest corner of said Lot 2 for the most southerly southwest corner hereof;  
THENCE north 01 degrees 01 minutes 28 seconds west 439.60 feet to an one-half inch iron rod set on the south line of Oak View Court (a dedicated right-of-way per said plat of OAKVIEW ADDITION PHASE ONE) at the northwest corner of said Lot 2, said corner being a re-entrant corner hereof;  
THENCE along the south line of Oak View Court, north 86 degrees 12 minutes 35 seconds west at 199.19 feet passing the northwest corner of Lot 1 of said ADDITION, at 387.78 feet passing a re-entrant corner of said 29.0 acres, and in all a total distance of 1158.79 feet to a steel pin set in the center of Moseley Road for the most northerly southwest corner hereof;  
THENCE along the center of said Moseley Road, north 09 degrees 32 minutes 54 seconds west 61.68 feet to a steel pin set for the northwest corner hereof;  
THENCE south 86 degrees 12 minutes 35 seconds east 1478.00 feet to an one-half inch iron rod set at the beginning of a non-tangent curve to the left, the radius point of said curve bearing south 60 degrees 50 minutes east 70.00 feet;  
THENCE along said curve, subtended by an angle of 166 degrees 59 minutes 48 seconds and a radius of 70.00 feet, on an arc length of 204.02 feet to an one-half inch rod set for corner;  
THENCE along the north line of said Lot 2, south 86 degrees 12 minutes 35 seconds east 182.04 feet to an one-half inch iron rod set for corner on the east line of said 29.0 acres;  
THENCE south 02 degrees 11 minutes 54 seconds west a distance of 457.22 feet to the Place of BEGINNING and containing 8.45 acres of land.

OWNER'S CERTIFICATE NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT WE, Glenn W. Floyd and Joan Floyd do hereby adopt this plat designating the herein described property as REPLAT OF LOT 2, OAK VIEW ADDITION PHASE ONE, an addition to the City of Cross Roads, Denton County, Texas, and do hereby dedicate for public use the streets, alleys, easements, parks and open spaces shown hereon.

GLENN W. FLOYD

JOAN FLOYD

STATE OF TEXAS  
COUNTY OF DENTON

Before me, the undersigned Notary Public in and for the State of Texas, Denton County, on this day did personally appear Glenn W. Floyd, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal this \_\_\_\_ day of \_\_\_\_ 2016.

NOTARY PUBLIC, STATE OF TEXAS

STATE OF TEXAS  
COUNTY OF DENTON

Before me, the undersigned Notary Public in and for the State of Texas, Denton County, on this day did personally appear Joan Floyd, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal this \_\_\_\_ day of \_\_\_\_ 2016.

NOTARY PUBLIC, STATE OF TEXAS

SURVEYOR'S CERTIFICATE

I, James E. Smith II, do hereby certify that the map hereon is an accurate representation of the property as determined by an on the ground survey, and that the monuments shown actually exist, and that their location, size and material are correctly shown in accordance with the ordinances of the Town of Cross Roads, Texas.

JAMES E. SMITH II,  
Registered Professional Land Surveyor No.3700

RECOMMENDED FOR APPROVAL

Chairperson, Planning and Zoning Commission  
City of Cross Roads, Texas

APPROVED FOR PREPARATION OF FINAL PLAT

MAYOR, City of Cross Roads, Texas

APPROVED AND ACCEPTED:

Mayor  
City of Cross Roads, Texas

The undersigned, the City Secretary of the City of Cross Roads, Texas, hereby certifies that the foregoing plat, being the REPLAT OF LOT 2 OAK VIEW ADDITION PHASE ONE, an addition to the City of Cross Roads, Texas, was submitted to the City Council on the

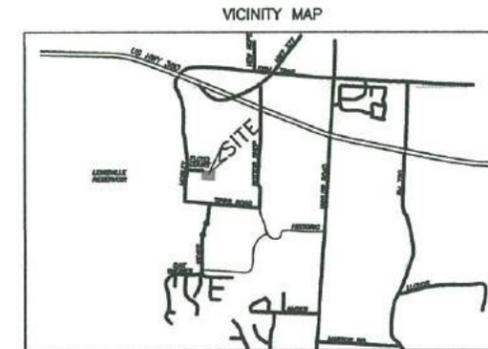
\_\_\_\_ day of \_\_\_\_\_, 2016, and the Council by formal action, then and there accepted the dedication of streets, utility easements and drainage easements, as shown and set forth in and upon said plat, and said Council further authorizes the Mayor to note the acceptance thereof by signing his/her name as herein above subscribed.

Attest this \_\_\_\_ day of \_\_\_\_\_, 2016.

City Secretary  
City of Cross Roads, Texas

OWNER:  
GLENN W. FLOYD & JOAN FLOYD  
800 N. LOCUST ST.  
DENTON, TEXAS 76201  
(940) 365-2168

J.E. Smith  
TEXAS LICENSED SURVEYING FIRM  
FIRM #101060-00  
5269 US Highway 377 South  
AUBREY, TEXAS 76227  
jim@jesmithsurvey.com  
(940) 365-9289



Formerly  
Leo Miller  
V.964, pg.73 DR

City of Denton  
V. 468, pg. 468 DR

FINAL PLAT  
**REPLAT OF LOT 2  
OAK VIEW ADDITION  
PHASE ONE**

an addition to the  
**CITY OF CROSS ROADS, DENTON COUNTY  
TEXAS**

BEING 8.45 ACRES IN THE  
R.J. MOSLEY SURVEY, ABSTRACT NO. 803

**RECEIVED**

FEB 01 2016

Town of Cross Roads

RECEIVED

FEB 01 2016  
Town of Cross Roads

TOWN OF CROSS ROADS  
PLATTING APPLICATION



DATE: February 1, 2016

APPLICATION # 2016-0201-02 RP

PROJECT: \_\_\_\_\_

Completed applications will be considered received on the due date specified on the yearly Submission Schedule.  
PLEASE VERIFY MEETING DATES.

TYPE OF PLAT

Preliminary  \_\_\_\_\_ Replat  \_\_\_\_\_  
Final  \_\_\_\_\_ Administrative/Amending  \_\_\_\_\_

PLEASE SPECIFY THE PRIMARY CONTACT

Land Owner Name Extra Property Holdings, LLC Signature \_\_\_\_\_

Applicant Name Extra Property Holdings, LLC Signature \_\_\_\_\_

Project Contact Mailing Address 3960 Broadway Blvd, Suite 236 Garland, TX 75043

Project Contact Phone 972-805-4526 Email devona@terracorpsurvey.com

Proposed Project Name R-2R Volunteer Enterprises Location 26512 E. US 380, Cross Roads, TX 76227

Lot/Block 12/08 Abstract \_\_\_\_\_

DCAD ID \_\_\_\_\_

Number of Lots Created 2

SUBMISSION DOCUMENTS

Fee 1600.00 / 1000.00 Deposit  
Map \_\_\_\_\_

Site Plan (Commercial) \_\_\_\_\_

Legal Description R-2R Volunteer Enterprises  
List of Neighbors \_\_\_\_\_  
Stamped/Addressed \_\_\_\_\_  
Envelopes \_\_\_\_\_  
Drawings (4 full, 2 half) \_\_\_\_\_  
OTHER (Specify) \_\_\_\_\_

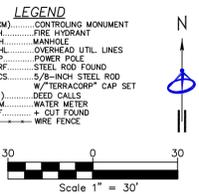
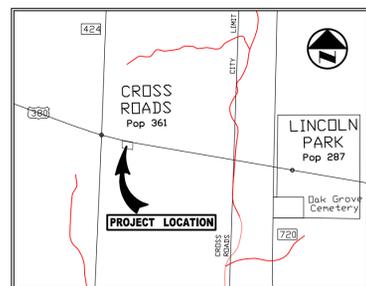
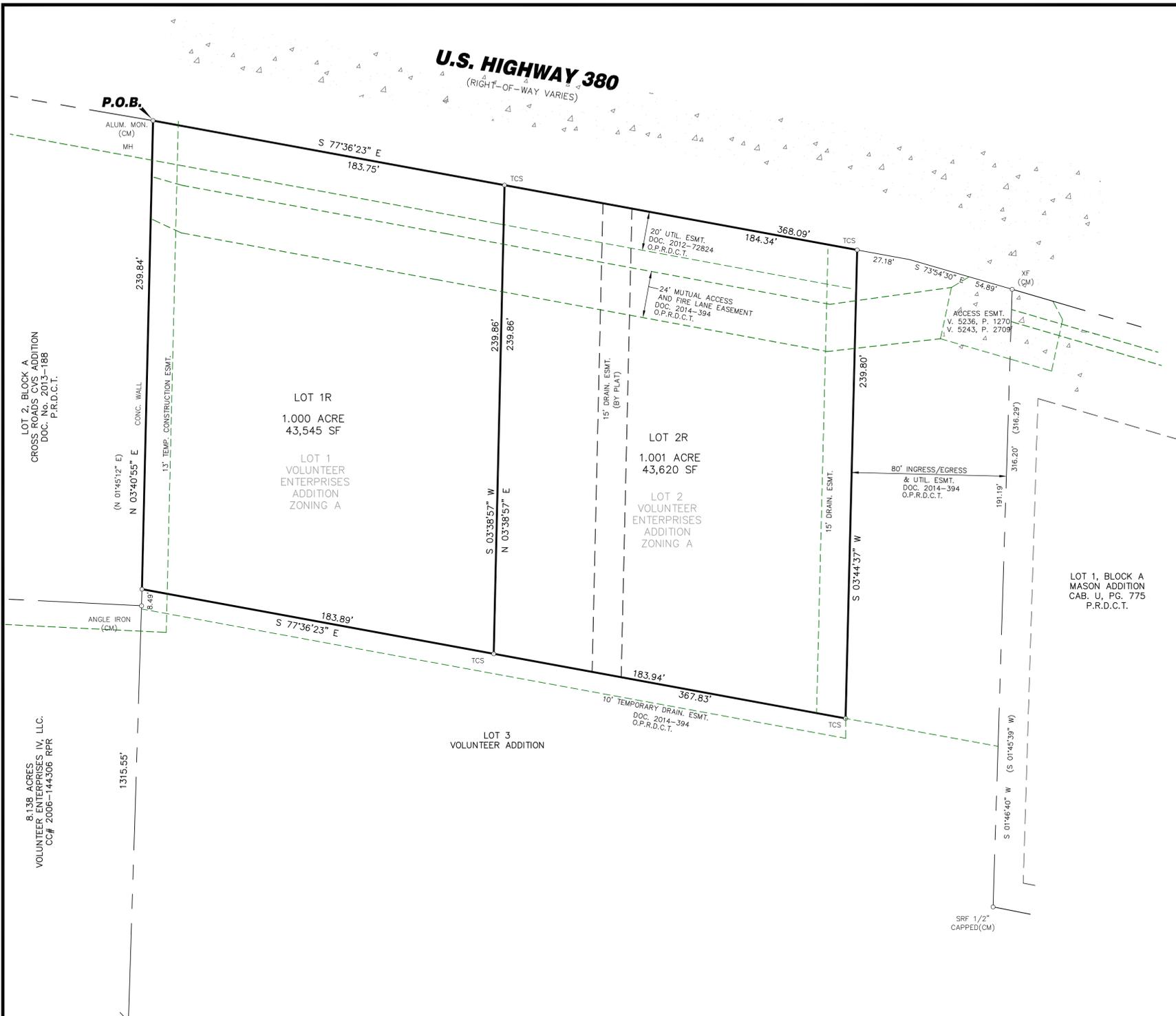
APPLICATION EXPLANATION

Explanation and Description of Request or Project

Re-Plat Creation to Add Easements

Before submitting an application, the applicant should consult with the Town Administrator to discuss the feasibility of the request and any additional requirements.

**U.S. HIGHWAY 380**  
(RIGHT-OF-WAY VARIES)



**GENERAL NOTES:**

- The purpose of this replat is to add easements.
- 5/8 Inch iron rods set at lot corners with yellow plastic cap stamped with "TERRACORP".
- By graphic plotting only, this property is within zone "X", areas determined to be outside of a designated 100 year or 500 year floodplain as shown by firm map community-panel number 48121C0405 G, dated April 18, 2011. No surveying was done to determine this flood zone.
- Bearing of South 77°36'23" East is based on a north line of the tract described in plat of the Volunteer Enterprises Addition, an addition to the Town of Cross Roads, Denton County, Texas according to the plat thereof recorded in Document 2014-394 of the Official Public Records of Denton County, Texas.
- Lots 1 & 2 will have future detention improvements required at the time of development.

**SURVEYOR'S CERTIFICATE**

I, \_\_\_\_\_, do hereby certify that a survey was made on the ground of the property described hereon under my personal supervision and the iron rods were placed in accordance with the subdivision rules and regulations of the Town of Cross Roads, Texas.

Registered Professional Land Surveyor  
State of Texas No. \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DENTON §

Before me, the undersigned notary public in and for said county and state on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and considerations therein expressed, and in the capacity therein.

Given under my hand and seal of office this \_\_\_\_ day \_\_\_\_\_, 2016.

Notary Public, State Of Texas

**Recommended for Approval**

Chairperson, Planning and Zoning Commission \_\_\_\_\_ Date Approved for Construction \_\_\_\_\_

Mayor, Town of Cross Roads \_\_\_\_\_ Date \_\_\_\_\_

The undersigned, the Town Secretary, of the Town of Cross Roads, Texas, hereby certifies that the foregoing final plat of the \_\_\_\_\_ Subdivision or Addition to the Town of Cross Roads was submitted to the Town Council on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public parks, and water and sewer lines, as shown and set forth in and upon said plat, and said Council further authorizes the Mayor to note the acceptance thereof for construction by signing his/her name as herein above subscribed,  
Witness my hand this \_\_\_\_ day of \_\_\_\_\_, 2016 AD

Town Secretary  
Town of Cross Roads, Texas

**OWNER'S CERTIFICATE**

STATE OF TEXAS §  
COUNTY OF DENTON §

**WHEREAS** Extra Property Holdings, LLC, is the owner of a 2.001 acre parcel of land situated in the Marsella Jones, Survey, Abstract No. 662, City of Cross Roads, Denton County, Texas, said tract being a portion of the same tract conveyed in Warranty Deed dated November 15, 2006 by the Dorothy M. Turner Revocable Living Trust to Volunteer Enterprises IV, LLC recorded in Document No. 2006-145467 of the Official Public Records of Denton County, Texas and being Lots 1 and 2, Volunteer Enterprises Addition, an addition to the Town of Cross Roads, Denton County, Texas according to the plat thereof recorded in Document 2014-394 of the Official Public Records of Denton County, Texas, said parcel being more particularly described as follows:

**BEGINNING** at an aluminum disk found in the Southwest line of U.S. Highway 380 (a variable width right-of-way) said point being the Northeast corner of Lot 2, Block A, Cross Roads CVS Addition an addition to the City of Cross Roads, Denton County, Texas according to the Plat thereof recorded in Document No. 2013-188 of the Plat records, Denton County, Texas and being the Northwest corner of said Lot 1;

THENCE South 77°36'23" East with the said Southwest right-of-way line, for a distance of 368.09 feet to a 5/8 inch steel rod with "TERRACORP" cap set at the Northeast corner of said Lot 2;

THENCE South 03°44'37" West departing said Southwest line and with the East line of said Lot 2 for a distance of 239.80 feet to a 5/8 inch steel rod with "TERRACORP" cap set at the Southeast corner of said Lot 2;

THENCE North 77°36'23" West, with the South line of said Lots 1 and 2 for a distance of 367.83 feet to a 5/8 inch steel rod with "TERRACORP" cap set at the Southwest corner of said Lot 1 and being in the East line of said Cross Roads CVS Addition from which a angle iron found at the Southeast corner of said Cross Roads CVS Addition, bears South 01°21'29" West, 8.49 feet;

THENCE North 03°40'55" East with the said East line for a distance of 239.84 feet to the **POINT OF BEGINNING** and containing 87,166 square feet or 2.001 acres of land, more or less.

THAT we, Extra Property Holdings, LLC., owner do hereby adopt this plat designating the herein described property as Lots 1 and 2, Volunteer Enterprises, an addition to the Town of Cross Roads, Texas and do hereby dedicated to the public use forever the streets and easements shown hereon.

Name: Guillermo Perales  
Title: General Manager

STATE OF TEXAS §  
COUNTY OF DENTON §

Before me, the undersigned notary public in and for said county and state on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and considerations therein expressed, and in the capacity therein.

Given under my hand and seal of office this \_\_\_\_ day \_\_\_\_\_, 2016.

Notary Public, State Of Texas

REPLAT  
**LOT 1R AND 2R**  
**VOLUNTEER ENTERPRISES**  
**ADDITION**

BEING A REPLAT OF LOTS 1 AND 2  
VOLUNTEER ENTERPRISES ADDITION  
DOC. No. 2014-394, O.P.R.D.C.T.  
AND BEING SITUATED IN THE  
MARSELLA JONES SURVEY, ABSTRACT No. 662  
TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS

OWNER:  
Extra Property Holdings, LLC.  
3318 Forest Lane, Ste. 200  
Dallas, Tx. 75234

**TerraCorp Associates LLC**  
3960 Broadway Blvd. Ste 236  
Garland, TX 75043  
ph. 972-805-4529, fax 972-805-4527  
www.terra Corpsurvey.com TBPLS Reg No. 101858-00

RECEIVED

DEC 16 2015

TOWN OF CROSS ROADS  
COMMERCIAL PERMIT APPLICATION

Town of Cross Roads

Date: 12/16/2015		Application # <u>2015-1216-010</u>	
Permit Address <u>Lot 2 Volunteer enterprises addition Crossrads Tx, 76227</u>			
Business Name <u>Popeye's Louisanna Kitchen</u>		Finished Sq Ft <u>2,460</u>	Unheated Sq Ft
Property Description (Acreage or Sq Ft of Lot)	Lot	Block	Legal Description
Description of Work/Intended Use: (Materials exterior & roof, New, Remodel, Expansion, etc.) <u>New ground up constrsuction of a Popeye's restaraunt</u>			
General Contractor Out to Bid, TBD		Phone	
Email Address:		Fax:	
Owner/Tenant		Phone	
Mailing Address			
Electrical Contractor		Phone	
Plumbing Contractor		Phone	
HVAC Contractor		Phone	
Other Contractor		Phone	
<p>I agree to allow no work on which separate Permits are required (signs, gasoline tanks, plumbing installations, electrical work, awnings, etc.) to be done until such Permits are obtained. I have carefully examined and read the completed and know the same to be true and correct, and hereby agree that if a Permit is issued, all provisions of the Town Ordinances and State laws will be complied with, whether herein specified or not. This permit becomes null and void if work or construction is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work has commenced. I also agree that this Permit is not transferable to any other party (ies) I have filed a MSDS for all hazardous materials with the Aubrey Fire Department.</p> <p><i>*If construction is not completed within 1 year, applicant must apply to Planning and Zoning for an extension of the original Building Permit.</i> I verify that this building site does not lie within the 100 YEAR FLOOD PLAIN.</p>			
Property Owner's Signature _____		Date <u>12/16/2015</u>	
Applicant Signature _____		Date <u>12/16/2015</u>	
Applicant Name (Please Print) <u>Miguel Villarreal</u>		Tel #: <u>9562851025</u>	
<b>For Office Use Only</b>			
Date rec'd Application _____	Rec'd by _____	Culvert Application _____	Septic Plans _____
Site Plan _____ (4) Sets of Building Plans _____	CD of Building Plans _____	(2) Engineered Foundation Plans _____	Energy Code Info _____
Sub Contractor Info _____	Architectural Review _____	Inspector's Review _____	
Plan Review Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Septic Review Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Bldg Permit Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Inspections/C of O/			
Culvert Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Permit Issued by _____	<b>Review Type</b> _____ <b>Reviewer Name</b> _____ <b>Date</b> _____ <b>Pass</b> _____ <b>Fail</b> _____ <b>Date</b> _____ <b>Pass</b> _____ <b>Fail</b> _____		

*(Handwritten signature and notes)*  
Miguel Villarreal  
m.villarreal@sunholdings.net

# North Central Texas Inspection and Plan Review Services

1816 Redwood Place, Denton, TX 76209 Ph. (940)383-4447/ Mobile (940)368-4519

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## 3rd Building Code Comments for Popeye's Chicken

Hwy 380

**Denied**

2460 Sq. Ft.

3-14-16

### Comments to be verified during construction

(No response required)

1. Comments cover an in-depth look at plans as submitted. However, omission of specific plan comments does not absolve the contractor of the responsibility for insuring that all construction complies with the 2006 International Codes as adopted by the Town of Cross Roads including the 2009 International Energy Conservation Code. Requirements for residential construction can be found in the 2006 International Building Code (Electrical to comply with the 2008 NEC as well as the 2009 IECC)
2. Interior lighting must comply with the bi-level switching and tandem wiring provisions of the 2009 IECC.
3. Heat traps to be installed in inlet and outlet sides of water heater unless part of a re-circulating system. Insulate first 8' of both water lines at water heater if pipe built heat traps are installed.
4. T&P line from water heater to run to exterior of building or to properly plumbed waste receptor. If run to waste receptor, drain from receptor must be Cast Iron, Copper DWV or CPVC.
5. All refrigerant lines to be insulated with min. 1" pipe insulation.
6. Condensate to be run to house side of wet trap.
7. **Smoke detector required in return side of HVAC systems rated > 2000 CFM.**
8. **Minimum backflow protection shall be RPZ's installed at point of use for all potential cross connections.**
9. **All mechanical equipment shall be screened from view.**
10. **Exit and emergency lighting per 2006 IBC & IFC.**
11. **Fire sprinkler and alarm plans require a separate permit and plan review and are a deferred submittal. (If required)**
12. **Sign plans require a separate permit and plan review and are a deferred submittal.**

### Comments to be Addressed before Permit will be Issued

(Response required)

1. Provide Energy Code report for Envelope, Interior Lighting, Exterior Lighting, and Mechanical.(Still need Comcheck for Envelope)
2. Code compliance on Cover sheet indicates 2006 IBC which is correct. Structural sheets refer to 2012 IBC.
3. Provide sizing calculations for grease interceptor.
4. **Grease interceptor locations on architectural plans and civils do not match. Prefer location shown on civil plans.(No response found)**

5. Provide test port on grease interceptor. (Note on plans states that double clean out can serve as test port. I do not believe the double clean out meets the minimum size requirement. Check with Mustang Municipal utility for minimum size requirement on test port.)
6. Dual check valves not allowed for backflow protection. Devices must be testable and must be in an accessible location (not above ceiling). (Mechanical response states see details on Sheet P4. No backflow details found on sheet P4.)
7. All exterior lighting fixtures must be LED. (Mechanical response states that Pole lights are metal halide fixtures, previous response stated all exterior fixtures to be LED. Also, photometric plans show LED fixtures but no lumen output. Please clarify)
8. Provide exterior lighting calculations with re-submittal to verify maximum 80,000 lumens per acre per Crossroads ordinance. (No calculations found)
9. All light fixtures on exterior must be full cut off fixtures.
10. No photometric plans provided.
11. Make sure all HVAC equipment is screened from public view.

If you have any questions or comments, please feel free to contact me at (940)368-4519 or contact the Town of Cross Roads at (940)365-9693.

Thank You,

Rodney Patterson  
Plans Examiner/Inspector  
North Central Texas Inspection and Plan Review Services

I just talked to the civil engineer to check in and see if they had made any progress against my Feb 8<sup>th</sup> comments or Mustang's engineer comments on Feb 22<sup>nd</sup>. I let him know I had seen a large amount of chatter on the building plans, and was concerned with lack of noise on the civil part. He said he was effectively on hold until the developer to resolves the detention question.

I let him know, and he agreed, that we cannot issue a building permit on the building without an approvable civil package.

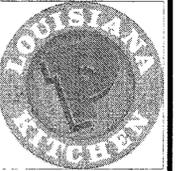
A separate issue, and probably more pressing, the replat had a conditional approval at P&Z (and pretty sure should be on the council agenda this month due to state calendar requirements). I am not sure we will see a revised plan for Council at this point. Do we need to try to get a waiver of the 30 day requirement or do we prepare for denial of the replat because the condition approval has not been resolved? The civil, building, landscape, and tech site plans have all been tabled a couple of times since there has not been any progress, but they do not have same 30 day process requirement as a plat.

Jason Pool, P.E.

Tx Lic #92623, Tx Firm #11096

214-850-7129 [cell]

[J.Pool@CrossRoadsTx.gov](mailto:J.Pool@CrossRoadsTx.gov)



FAST BUILDERS, LLC  
P.O. BOX 59913  
DALLAS TEXAS - 75229

**POPEYES**  
LOUISIANA KITCHEN  
US HWY. 380& FM 424  
CROSS ROADS TX., 76227

DESIGN ELEMENTS - SMALL STRUCTURE 2,460 S.F.

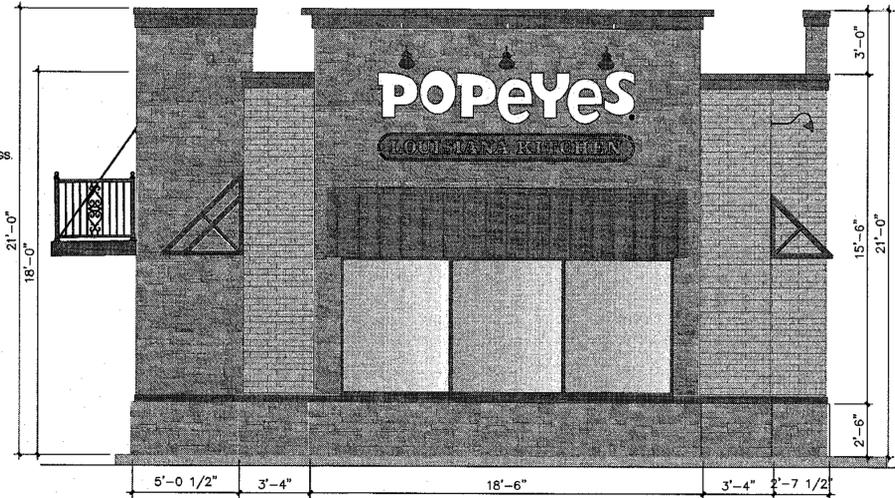
GROUP I CANOPIES/AWNING  
COVERING OF METAL, HUNG FROM THE BUILDING FACADE TO PROTECT WINDOWS AND DOOR OPENINGS.  
DRIVE THRU CANOPY AND DECORATIVE RAILINGS (BALCONY)  
DECORATIVE HAND RAIL.

GROUP II MANDATORY REQUIREMENTS ARE FOR 85% MASONRY

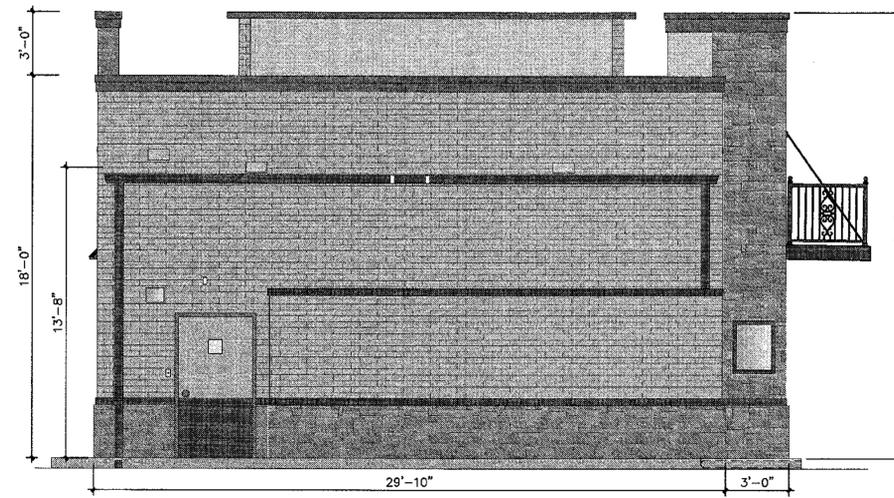
	MATERIAL	S.F.	%
MAIN ENTRANCE ELEVATION	BRICK	498	41
	STONE VENNER	717	56
FRONT ELEVATION	BRICK	75	16
	STONE VENNER	382	84
DRIVE THRU ELEVATION	BRICK	672	53
	STONE VENNER	603	47
REAR ELEVATION	BRICK	305	71
	STONE VENNER	123	29

GROUP III VARIED PARAPETS AND TOWERS HEIGHTS

GROUP IV DECORATIVE CONCRETE AT SIDEWALKS, FOR MINIMUM OF 10% OF TOTAL WALKWAYS.



FRONT ELEVATION



REAR ELEVATION

NOTE: ROOF MOUNTED RTU UNITS WILL BE SCREENED WITH PARAPET



GOLDEN SUNSET BR-1



STONE VENNER PLUMB CREEK



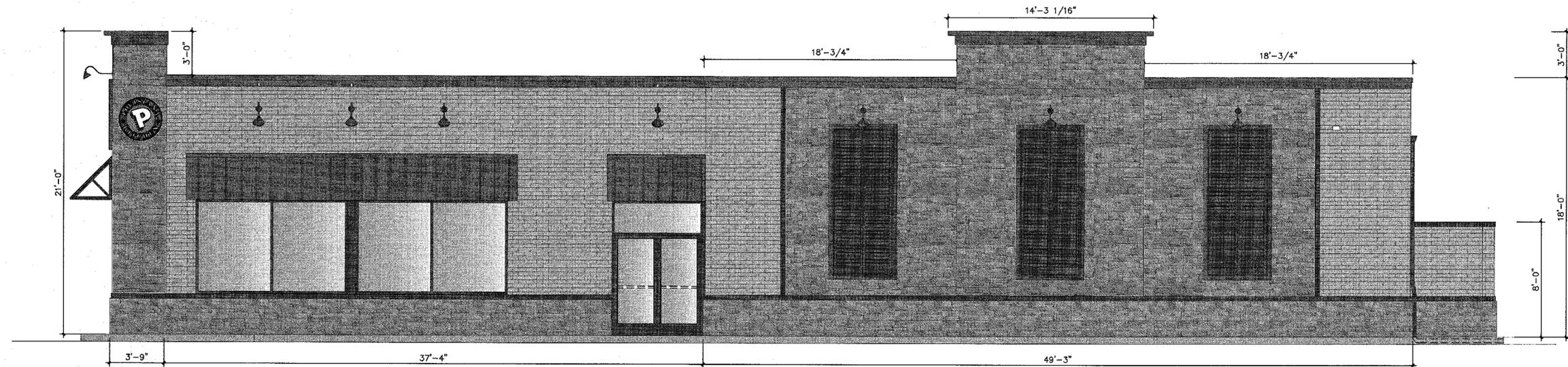
MOCKA BROWN EP-3



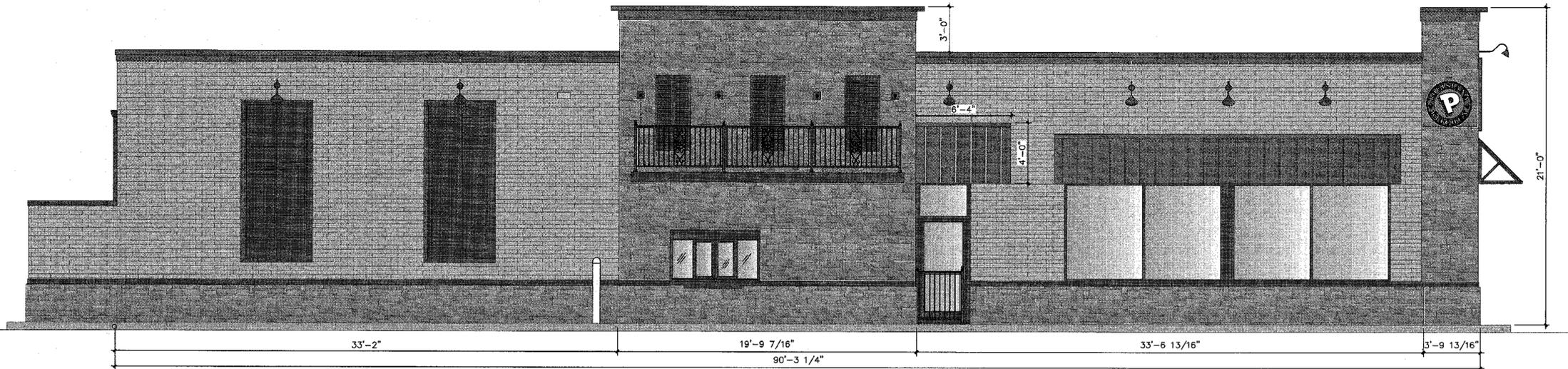
HUNTER GREEN EP-5



REGAL RED EP-2 C-1

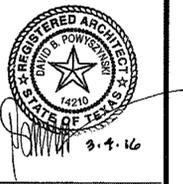


MAIN ENTRANCE ELEVATION



DRIVE THROUGH ELEVATION

CHECKED BY:	DATE



ELEVATIONS

A - 5

LK1260 STRETCH

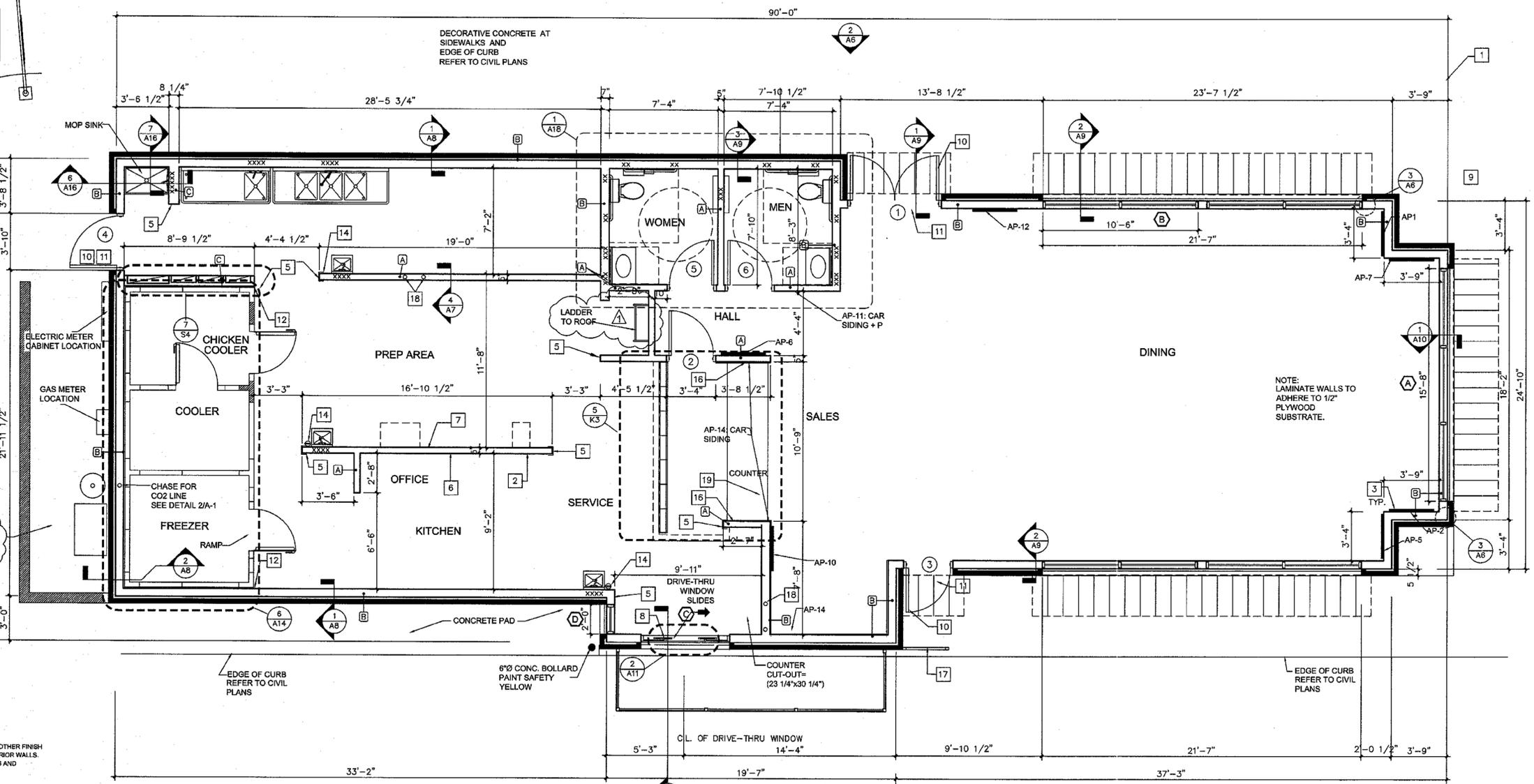


**FAST BUILDERS, LLC**  
P.O. BOX 59913  
DALLAS TEXAS - 75229

**POPEYES**  
LOUISIANA KITCHEN  
US HIGHWAY 380 & F.M. 424  
CROSS ROADS, TX. 76227

NOTE:  
LOCKNET DOOR  
ROUGH OPENING:  
46 1/2" X 86 1/4"

EDGE OF CURB  
SIDEWALK  
REFER TO CIVIL  
PLANS



NOTE: LAMINATE WALLS TO  
ADHERE TO 1/2"  
PLYWOOD  
SUBSTRATE.

**SPECIFICATIONS**  
DIVISION 9: FINISHES

SECTION 9A: GYPSUM WALLBOARD  
GENERAL PROVISIONS  
1. SCOPE: FURNISH AND INSTALL GYPSUM WALLBOARD AS A SUBSTRATE FOR OTHER FINISH MATERIALS ON ALL INTERIOR WALLS AND THE INTERIOR PORTIONS OF EXTERIOR WALLS. FURNISH AND INSTALL GYPSUM BOARD SUSPENDED CEILING WITH HANGERS AND SUPPORTS.

1. MATERIALS  
1. MATERIAL NAMES ARE BASED ON A NATIONAL GYPSUM GOLD BOND STA-SMOOTH BEVEL EDGE SYSTEM. USE GOLD BOND OR EQUAL SYSTEM BY U.S. GYPSUM.  
WALLS (EXCEPT WHERE NOTED): 1/2" STA-SMOOTH GYPSUM WALLBOARD  
WALLS WHERE NOTED: 1/2" THICK TAPERED EDGE MR (MOISTURE RESISTANT) GYPSUM WALLBOARD  
DROPPED CEILING WHERE NOTED: 1/2" STA-SMOOTH GYPSUM WALLBOARD  
FIRE RATED WHERE NOTED OR REQUIRED BY CODE: 5/8" FIRE SHIELD (GYPSUM WALLBOARD)

2. FASTENERS  
A. QWB-54 1.58" LONG ANNULAR RING SHANK NAILS MEETING THE REQUIREMENTS OF ASTM C-380.  
B. 1-1/4" LONG TYPE-W DRYWALL SCREWS TO WOOD STUDS.  
C. 1-1/4" LONG TYPE-S DRYWALL SCREWS TO INTERIOR METAL STUDS.  
D. 1-1/4" LONG TYPE-S12 CORROSION RESISTANT SCREWS FOR EXTERIOR GYPSUM SHEATHING TO METAL STUDS.  
E. JOINT TREATMENT COMPOUND SHALL BE READY MIXED. JOINT TAPE SHALL BE CROSS FIBERED, PERFORATED, FEATHER EDGED. CORNER BEADS SHALL BE GALVANIZED STEEL ROLL-FORMED U-SHAPED CHANNELS.  
F. HANGERS AND SUPPORTS: 2X4 WOOD FRAMING. SUBSTITUTION: FOR STEEL TRUSS BUILDINGS 1-1/2" CARRYING CHANNELS, 3/4" FLURRING CHANNELS, 3 GAUGE HANGER WIRES, 16 GAUGE TIE WIRES, AND 1" TYPE S SCREWS.

- PERFORMANCE  
1. INSTALLATION  
A. CUTTING WALLBOARD: GYPSUM WALLBOARD SHALL BE CUT BY SCORING AND BREAKING, OR BY SAWING, WORKING FROM THE FACE SIDE. WHERE BOARD MEETS PROJECTING SURFACES, IT SHALL BE SCRIBED NEATLY.  
B. INSTALLING WALLBOARD: GYPSUM WALLBOARD SHALL BE APPLIED AT RIGHT ANGLES TO FRAMING MEMBERS. BOARDS OF MAXIMUM PRACTICAL LENGTH SHALL BE USED SO THAT AN ABSOLUTE MINIMUM NUMBER OF END JOINTS OCCUR. WALLBOARD JOINTS AT OPENINGS SHALL BE LOCATED SO THAT NO END JOINT SHALL ALIGN WITH EDGES OF OPENINGS. END JOINTS SHALL BE STAGGERED.  
C. FASTENING WALLBOARD: ATTACH WITH SCREWS OR NAILS SPACED APPROXIMATELY 8" o.c. THE NAILS SHALL BE DRIVEN HOME WITH THE HEAD SLIGHTLY BELOW THE SURFACE OF THE BOARD IN A DIMPLE FORMED BY THE DRIVING TOOL.  
D. FASTENING EXTERIOR GYPSUM SHEATHING: ATTACH TO METAL STUDS WITH SCREWS @ 12" o.c. WITH HEAD FLUSH WITH SURFACE.  
E. JOINTS FINISHING: JOINT COMPOUND, QUICK-TREAT, AND TOPPING COMPOUND SHALL BE APPLIED IN ACCORDANCE WITH PRINTED INSTRUCTIONS CONTAINED IN THE PACKAGE. A UNIFORM 1/8" THIN LAYER OF JOINT COMPOUND SHALL BE APPLIED OVER THE JOINT UNDER THE TAPE TO PROVIDE PROPER BOND. CRILING AND WALL ANGLES AND INSIDE CORNER ANGLES SHALL BE REINFORCED WITH THE TAPE FOLDED TO CONFORM TO THE ANGLE AND EMBEDDED IN THE COMPOUND. AFTER THE COMPOUND IS THOROUGHLY DRY, APPROXIMATELY TWENTY FOUR (24) HOURS FOR REGULAR COMPOUND, 2-1/2 HOURS FOR QUICK TREAT, THE TAPE SHALL BE COVERED WITH A COAT OF JOINT COMPOUND OR TOPPING COMPOUND SPREAD OVER THE TAPE APPROXIMATELY 3" ON EACH SIDE OF TAPE, AND FEATHERED OUT AT THE EDGE. AFTER THOROUGHLY DRY, APPLY ANOTHER COAT OVER JOINTS. THIS COAT SHALL BE SMOOTH AND THE EDGES FEATHERED APPROXIMATELY 2" BEYOND THE PRECEDING COAT. ALLOW EACH APPLICATION OF COMPOUND TO JOINTS AND NAIL HEADS TO DRY, THEN SAND IF NECESSARY. ALL WALLBOARD AND TREATED AREAS SHALL BE SMOOTH AND READY FOR PAINTING OR WALLCOVERING.

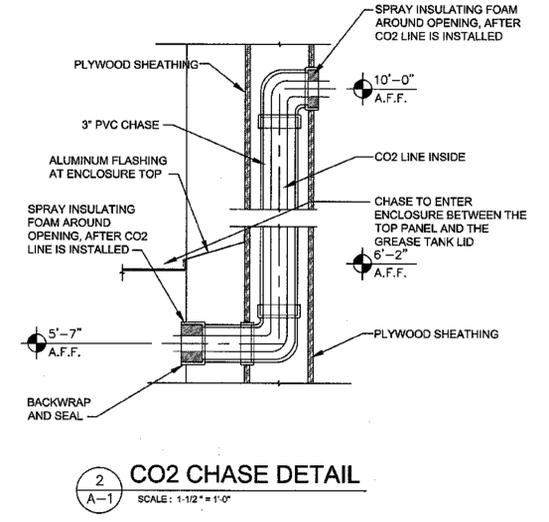
**CONSTRUCTION KEY NOTES**

- 1 DIMENSIONS ARE SHOWN:  
1) EXTERIOR WALLS: FROM INTERIOR FACE OF GYPSUM BOARD TO THE EXTERIOR FACE OF PLYWOOD.  
2) INTERIOR WALLS: FROM THE FACE OF FINISH WALL TO THE FACE OF FINISH WALL, U.N.O.  
2 INSTALL 3"-0" W X 9'-0" H X 18 GA STAINLESS STEEL PANEL BEHIND OVENS. REFER TO INTERIOR KITCHEN ELEVATIONS AND EQUIPMENT PLAN FOR EXACT LOCATION.  
3 ALL GYPSUM BOARD BELOW FINISHED CEILING HEIGHT IS TO BE PREPARED FOR PAINTING OR WALLCOVERING AS INDICATED ON INTERIOR ELEVATIONS AND FINISH SCHEDULE. SEE GEN. CONSTR. NOTES FOR DINING AREA.  
4 DIVIDER WALL - FURNISHED WITH SEATING PACKAGE  
5 GENERAL CONTRACTOR (G.C.) TO PROVIDE 2'X2'X4'-0" HIGH CORNER GUARDS ON ALL OUTSIDE CORNERS @ KITCHEN WALL, PROVIDE COMPLETE WRAP ON END WALLS - SEE DETAIL 2-A2.  
6 HOOD WALL TO BE CONSTRUCTED WITH 3-5/8" 16 GAUGE (GA) METAL STUDS AT 24" o.c. AND 1/2" DURAROCK ON HOOD WALL SIDE.  
7 G.C. TO INSTALL 18 GA. STAINLESS STEEL PANELS ON WALL. REFER TO MECHANICAL HOOD DRAWINGS FOR PANEL SIZES.  
8 ELECTRIC DRIVE-THRU WINDOW SHOWN. G.C. TO PROVIDE JUNCTION BOX UNDERNEATH THE WINDOW. VERIFY REQUIRED ROUGH-IN AND ELECT. REQUIREMENTS WITH MANUF. DRAWINGS.  
9 HANDICAP ACCESS TO BUILDING IS DESIGNED ACCORDING TO APPLICABLE CODE. G.C. TO ENSURE THAT ALL DIRECTIONS AND DIMENSIONS GIVEN ARE STRICTLY ADHERED TO. IF CHANGES ARE MADE THAT CONTRADICT WITH THE DRAWING, OR IF EXISTING FIELD CONDITIONS MAKE THE DRAWINGS NOT APPLICABLE, THE ARCHITECT MUST BE CONTACTED IMMEDIATELY.

**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
SQUARE FOOTAGE 2,460

**FRAMING SYMBOLS**

- 1 2X4 FRAMING @ 16" O.C.  
2 2X6 FRAMING @ 24" O.C.  
3 2X8 FRAMING @ 24" O.C.  
4 DOOR NUMBER. SEE SHEET A-10 FOR DETAILS  
5 DETAIL NUMBER  
6 SHEET NUMBER  
7 PLAN DETAIL  
8 DETAIL NUMBER  
9 SHEET NUMBER  
10 SECTION DETAIL - ARROW INDICATES DIRECTION OF VIEW  
11 XXX DENOTES BLOCKING AS REQUIRED



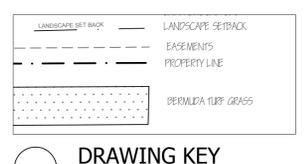
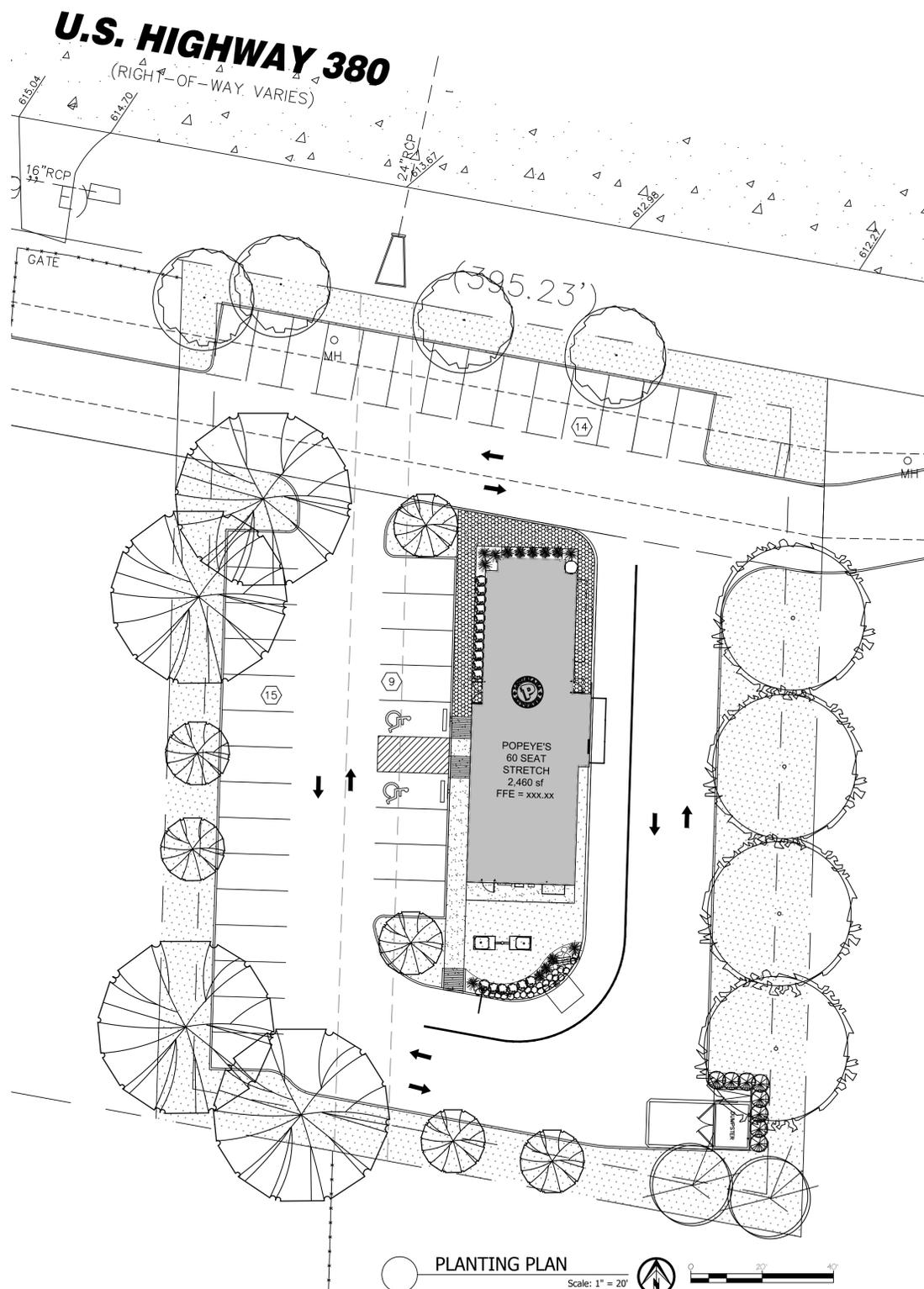
**GENERAL CONSTRUCTION NOTES**

- GYPSUM BOARD / EXTERIOR SHEATHING NOTES:  
1. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR PLYWOOD NAILED IN ACCORDANCE WITH THE STRUCTURAL NAILING SCHEDULE. REFER TO SHEETS S-4.  
2. 1/2" GYPSUM BOARD TO BE INSTALLED ON ALL INTERIOR WALLS WHERE PLYWOOD IS NOT REQUIRED. ALL JOINTS ARE TO BE TAPED.  
3. GYPSUM BOARD SHALL BE TYPE "WMR" IN ALL AREAS TO RECEIVE WALL TILE OR FRP PANELS.  
4. WALLS TO RECEIVE TILE BASE SHALL HAVE 1/2" USG "DUROCK" INSTALLED TO 18" AFF.  
INSULATION NOTES:  
1. ALL EXTERIOR WALLS TO RECEIVE FIBERGLASS BATT INSULATION TO MATCH DEPTH OF WALL CAVITY.  
KITCHEN WALL NOTES:  
1. PROVIDE 1/2" PLYWOOD FROM 14" AFF TO 9'-6" AFF IN ALL KITCHEN WALLS.  
2. PROVIDE 1/2" PLYWOOD FROM FLOOR TO 3'-2" AFF AT INTERIOR TOILET ROOM WALLS.  
DINING AREA NOTES:  
1. PLASTIC LAMINATE TO ADHERE TO 1/2" PLYWOOD SUBSTRATE. PLYWOOD FROM FINISH FLOOR TO 2'-10" AFF.  
2. VINYL WALL COVERING ON 1/2" GYPSUM BOARD.  
FRAMING NOTES:  
1. CONTRACTOR MAY SUBSTITUTE METAL STUDS FOR INTERIOR WALL, AND SOFFIT FRAMING. WHERE USED, METAL FRAMING TO BE 26 GA. UNLESS NOTED OTHERWISE (U.N.O.).  
2. REFER TO FRAMING NOTES FOR WALL SECTIONS.  
3. ALL INTERIOR WOOD FRAMING TO BE #2 SPRUCE, FIR OR WHITE PINE. WHERE REQUIRED BY CODE, FRAMING SHALL BE #2 FIRE RETARDANT YELLOW PINE. CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BIDDING.  
4. ALL WOOD IN CONTACT WITH THE SLAB MUST BE PRESSURE TREATED.  
5. ALL INTERIOR WALLS TO BE FRAMED TO UNDERSIDE OF TRUSS U.N.O..  
6. ALL INTERIOR WALLS THAT ARE NOT SHEAR WALLS TO BE ANCHORED W/ 5/8" DIA. EXPANSION ANCHORS AT 6'-0" O.C. SEE STRUCTURAL DWGS. FOR SHEAR WALL ANCHORS.

CHECKED BY:	DATE	CITY	COMMENTS
	02-27-16		



**FLOOR PLAN**



Common Name	Botanical Name	Texas Native	Size	Qty	Remarks
Bur Oak	<i>Quercus macrocarpa</i>	Tree	Yes 65 gal	4	3" cal min.
Cedar Elm	<i>Ulmus crassifolia</i>	Tree	Yes 65 gal	4	3" cal min.
Chinkapin Oak	<i>Quercus muhlenbergii</i>	Tree	Yes 65 gal	4	3" cal min.
Desert Willow	<i>Chiopsis linearis</i>	Tree	Yes 15 gal	4	8' tall at planting
Dwarf Wax Myrtle	<i>Myrica pusilla</i>	Shrub	Yes 3 gal	1	
Eastern Red Cedar	<i>Juniperus virginiana</i>	Tree	Yes 30 gal	2	3" cal min.
Lindheimer Muhly / Big Muhly	<i>Muhlenbergia lindheimeri</i>	Grass	Yes 3 gal	6	
Nellie R. Stevens Holly	<i>Ilex x attenuata 'Nellie R. Stevens'</i>	Shrub	No 7 gal	8	4' tall at planting
Pink Skullcap	<i>Scutellaria affinis</i>	Perennial	Mexica 1 gal	22	
Salvia greggii 'pink'	<i>Salvia greggii</i>	Perennial	Yes 1 gal	6	
Salvia greggii 'red'	<i>Salvia greggii</i>	Perennial	Yes 1 gal	11	
Upright Rosemary	<i>Rosmarinus officinalis</i>	Perennial	No 3 gal	8	

PLANT LIST

PLANTING PLAN  
Scale: 1" = 20'

### Jurisdiction of Project

REGULATORY AUTHORITIES:  
 TOWN OF CROSSROADS PLANNING  
 1401 FM 424  
 CROSSROADS, TX 76227  
 940.865-8091  
 TEXAS DEPARTMENT OF LICENSING AND REGULATION  
 ELIMINATION OF ARCHITECTURAL BARRIERS  
 E.O. THOMPSON STATE OFFICE BUILDING  
 920 COLORADO  
 AUSTIN, TEXAS 78701  
 (512) 463-3211  
 (512) 475-2886 (FAX)

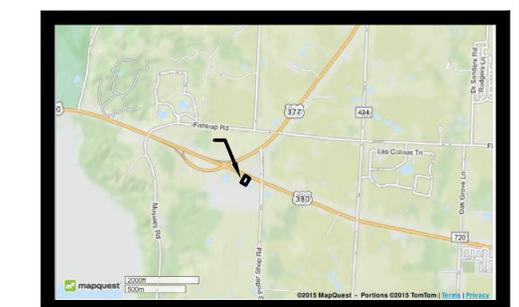
### Landscaping Requirements

- TOWN OF CROSSROADS LANDSCAPE REQUIREMENTS  
 ARTICLE 3.08 TREE PRESERVATION AND PROTECTION  
 ARTICLE 3.11 LANDSCAPING & AND SCENIC CONSERVATION
- A. LANDSCAPE EDGE OF AT LEAST 10 FT WIDE.  
PROVIDED
  - B. LANDSCAPE EDGE TO INCLUDE 1 TREE PER 500 SF OF LANDSCAPE EDGE.  
N REQUIRED: 3.5 TREES PROVIDED: 3.5 TREES  
W REQUIRED: 4.5 TREES PROVIDED: 4.5 TREES  
S REQUIRED: 3.5 TREES PROVIDED: 3.5 TREES  
E REQUIRED: 4.5 TREES PROVIDED: 4.5 TREES
  - C. 1 TREE PER INTERIOR LANDSCAPE AREA WITHIN PARKING AREA.  
REQUIRED: 3 TREES PROVIDED: 3 TREES
  - D. LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.

### Irrigation Requirements

E. NO EXISTING TREES ON SITE.  
 UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED.  
 SYSTEM DESIGNED AND INSTALLED ACCORDING TO TCEQ LAWS AND  
 REGULATIONS PROVIDING FOR 100% COVERAGE ON ALL LANDSCAPE AND TURF.  
 THE SYSTEM SHALL INCLUDE A FREEZE-RAIN SENSOR AND BACKFLOW DEVICE.

### Site Location



### Owner & Professionals Information

OWNER  
 FASTBUILDERS, LLC  
 C/O ARMANDO PALACIOS  
 3318 FOREST LANE, #200, DALLAS, TX 75234  
 214-551-0921  
 CIVIL ENGINEER  
 MATTHEW THOMAS P.E.  
 4604 BILL SIMMONS ROAD  
 COLLEYVILLE, TX 76034  
 214-680-2728  
 LANDSCAPE ARCHITECT  
 CAROL FELDMAN  
 FELDMAN DESIGN STUDIOS  
 P.O. BOX 832346  
 RICHARDSON, TEXAS 75083  
 972-980-1740

NO.	ITEM DESCRIPTION	DATE
1.	SITE PLAN REVIEW	11.11.15
2.		
3.		
4.		
5.		
6.		
7.		



These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245

LANDSCAPE PLAN  
 POPEYES RESAURANT  
 HWY 380  
 CROSSROADS, TEXAS

SHEET NO.  
 L1.01

**TOWN OF CROSS ROADS  
PLATTING APPLICATION**



DATE: 2/1/2014

APPLICATION # 2014-0201-03RP

PROJECT: Cross Roads Car Wash

Completed applications will be considered received on the due date specified on the yearly Submission Schedule.  
PLEASE VERIFY MEETING DATES.

**TYPE OF PLAT**

Preliminary  Replat   
 Final  Administrative/Amending

**PLEASE SPECIFY THE PRIMARY CONTACT**

Land Owner Name 3B&L Investments LLC Signature \_\_\_\_\_

Applicant Name 3B&L Investments Signature \_\_\_\_\_

Project Contact Mailing Address 5255 1000 28th suite 105 Dallas, TX 76205

Project Contact Phone 940.382.5000 Email \_\_\_\_\_

Proposed Project Name Cross Roads Car Wash Location \_\_\_\_\_

Lot/Block \_\_\_\_\_ Abstract \_\_\_\_\_

DCAD ID \_\_\_\_\_

Number of Lots Created \_\_\_\_\_

**SUBMISSION DOCUMENTS**

Fee \_\_\_\_\_ Legal Description \_\_\_\_\_

Map \_\_\_\_\_ List of Neighbors \_\_\_\_\_

Site Plan (Commercial) \_\_\_\_\_ Stamped/Addressed \_\_\_\_\_

Envelopes \_\_\_\_\_

Drawings (4 full, 2 half) \_\_\_\_\_

OTHER (Specify) \_\_\_\_\_

**APPLICATION EXPLANATION**

Explanation and Description of Request or Project

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Before submitting an application, the applicant should consult with the Town Administrator to discuss the feasibility of the request and any additional requirements.





Tx Lic #92623, Tx Firm #11096  
214-850-7129 [cell]  
[J.Pool@CrossRoadsTx.gov](mailto:J.Pool@CrossRoadsTx.gov)

---

**From:** Steve Homeyer [mailto:shomeyer@hei.us.com]  
**Sent:** Wednesday, February 24, 2016 8:40 PM  
**To:** j.pool@crossroadstx.gov  
**Cc:** Aaron Cole <acole@linksconstruction.biz>; Michael Bates <mbates@batesmartin.com>  
**Subject:** Car Wash Comments

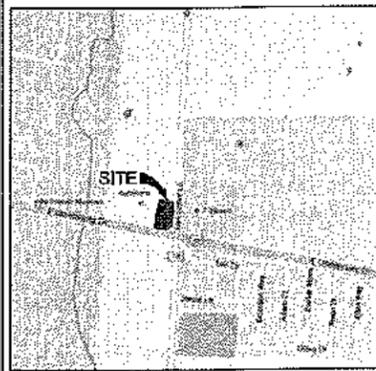
Jason,  
Please send us the comments for the car wash project so we can make sure we address all of your concerns.

Thanks  
Steven R. Homeyer, P.E.



TX FIRM REGISTRATION NO. F-8440  
OK FIRM LICENSE NO. CA-6112  
PHONE: 972-906-9985  
FAX: 972-906-9987  
[WWW.HEI.US.COM](http://WWW.HEI.US.COM)

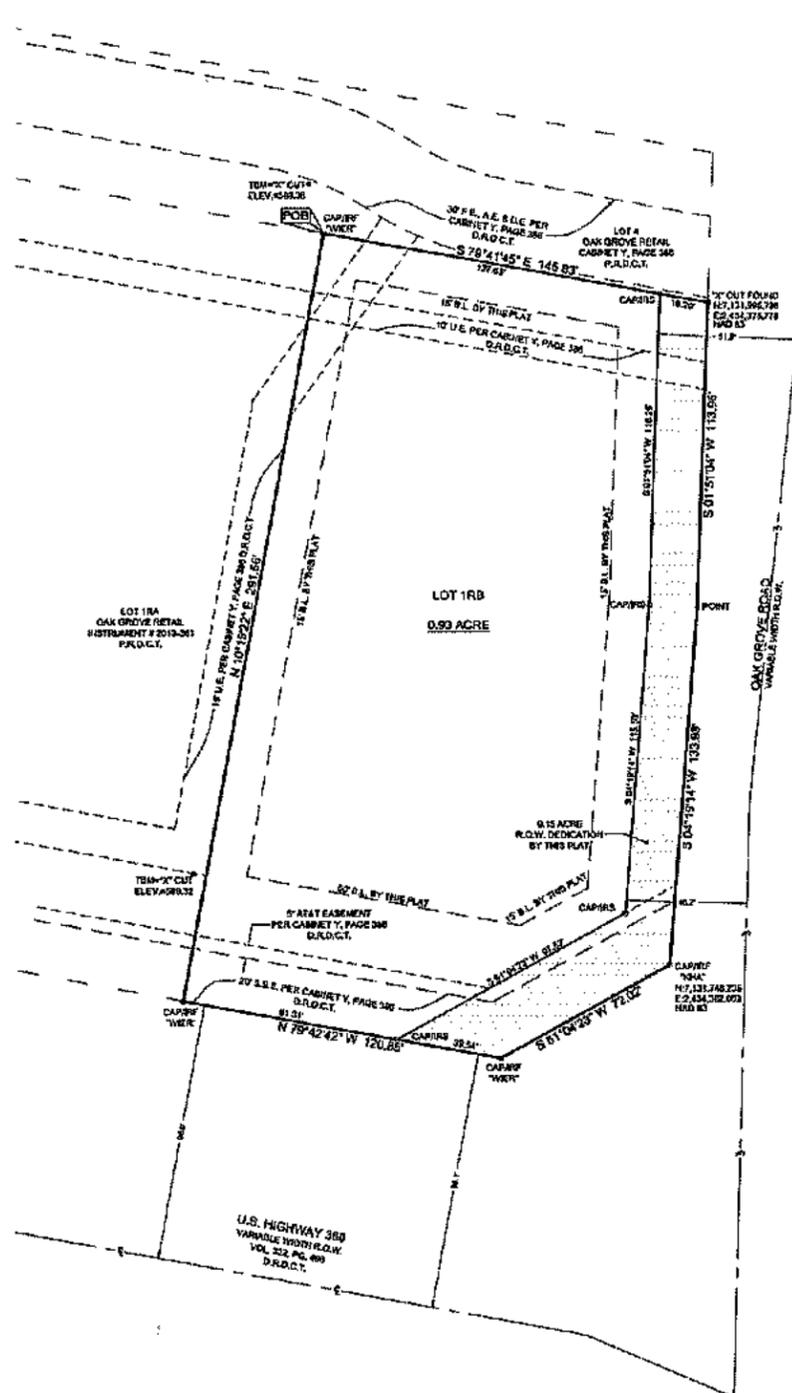
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VICINITY MAP  
NOT TO SCALE

GENERAL NOTES:

- ALL CORNERS ARE MARKED WITH CAPPED 1/2" IRON RODS STAMPED "KAZ" UNLESS OTHERWISE NOTED.
  - FLOOD STATEMENT: I HAVE REVIEWED THE FEMA FLOOD INSURANCE RATE MAP FOR THE DENTON COUNTY, COMMUNITY NUMBER 450774 EFFECTIVE DATE 4-18-2011 AND THAT MAP INDICATES AS SCALED, THAT THIS PROPERTY IS WITHIN "HIGH-SHADED ZONE X" DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD (500-YEAR) AS SHOWN ON PANEL 405 G OF 3RD MAP.
  - THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 1 COMMERCIAL LOT FROM A PREVIOUSLY REPLATED LOT.
  - BEARINGS SHOWN HEREON ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE (4202), AND ARE BASED ON THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT.
  - NOTE: BEARINGS SHOWN HEREON ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE (4202), AND ARE BASED ON THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT.
  - THE MINIMUM FINISHED FLOOR ELEVATIONS SHALL BE PROVIDED WHEN A BUILDING PERMIT APPLICATION IS SUBMITTED. THE MINIMUM FINISHED FLOOR ELEVATIONS SHALL BE BASED ON CURRENT FEMA DATA. THE MINIMUM FLOOR ELEVATIONS SHALL BE STATED AS MEAN SEA LEVEL, RATHER THAN RELATIVE BASED ON CITY OF DENTON DATUM OR N.G.S. 1983 DATUM.
  - THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. NO EXCAVATION WAS PERFORMED.
  - PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE PUBLIC ACCESS EASEMENT.
  - MINIMUM FINISHED FLOOR ELEVATION (FFE TO BE 18 INCHES ABOVE 100-YR WSEL).
- NOTE: ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1983 (NAVD83) AND WERE CALCULATED BY APPLYING VERTICAL SIGHTS DERIVED FROM GNSS 2005 TO ELLIPSOID HEIGHTS CALCULATED FROM OPPOSITE OBSERVATIONS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT.



STATE OF TEXAS  
COUNTY OF DENTON

OWNER'S CERTIFICATION

WHEREAS: CROSS ROADS CROSSING, LTD., is the owner of all that certain tract of land situated in the Marcella Jones Survey, Abstract Number 062, Denton County, Texas and being Lot 1RB of Oak Grove Retail, in addition to the Town of Cross Roads, Denton County, Texas, according to the Plat thereof, recorded in Instrument 2013-261 of the Plat Records of Denton County, Texas, of the Real Property Records of said County; the subject tract being more particularly described as follows:

BEGINNING at a capped iron rod found stamped "WIER" at the Northwest corner of said Lot 1RB and also being the Northeast corner of Lot 1RA of said Oak Grove Retail;

THENCE South 79 degrees 41 minutes 45 seconds East, 145.83 feet to an "X" cut found at the Northeast corner of said Lot 1RB, and also being in the West line of Oak Grove Retail;

THENCE along said West line, South 01 degrees 51 minutes 04 seconds West, 113.96 feet to a point for corner;

THENCE continuing along said West line, South 04 degrees 19 minutes 14 seconds West, 133.28 feet to a capped iron rod found stamped "KAZ" at the Southeast corner of said Lot 1RB and also being in the North line of U.S. Highway 380;

THENCE along said North line, South 01 degrees 04 minutes 23 seconds West, 72.02 feet to a capped iron rod found stamped "WIER" at the most Southerly corner of said Lot 1RB;

THENCE continuing along said North line, North 79 degrees 42 minutes 42 seconds West, 120.85 feet to a capped iron rod found at the Southwest corner of said Lot 1RB and also being the Southeast corner of the aforementioned Lot 1RA;

THENCE along the eastern line of said Lots 1RA and 1RB, North 10 degrees 19 minutes 22 seconds East, 201.56 feet to the PLACE OF BEGINNING and containing 0.93 of an acre of land more or less;

OWNER'S DEDICATION

STATE OF TEXAS  
COUNTY OF DENTON

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT CROSS ROADS CROSSING, LTD., DO HEREBY ADOPT THIS REPLAT, DESIGNATING THE HEREIN DESCRIBED PROPERTY AS OAK GROVE RETAIL II ADDITION, AN ADDITION TO TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS AND DO HEREBY DEDICATE TO PUBLIC USE FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

CROSS ROADS CROSSING, LTD.

BY: \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DENTON

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN.

WITNESS MY HAND AND SEAL OF OFFICE THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2016.

NOTARY PUBLIC IN AND FOR THE STATE OF \_\_\_\_\_  
COUNTY \_\_\_\_\_

MY COMMISSION EXPIRES ON \_\_\_\_\_

CERTIFICATE OF SURVEYOR

STATE OF TEXAS  
COUNTY OF DENTON

I, KENNETH A. ZOLLINGER, REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND AND THAT THE MONUMENTS SHOWN HEREON WERE FOUND OR PRODUCED WITH CAPPED 1/2" IRON RODS STAMPED "KAZ" UNDER MY DIRECTION AND SUPERVISION IN ACCORDANCE WITH THE ORDINANCES OF THE TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS.

KENNETH A. ZOLLINGER, R.L.S., # 8312 DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DENTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KENNETH A. ZOLLINGER, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/HIS EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2016.

NOTARY PUBLIC, DENTON COUNTY, TEXAS.

MY COMMISSION EXPIRES \_\_\_\_\_

RECOMMENDED FOR APPROVAL

CHAIRPERSON, PLANNING AND ZONING COMMISSION DATE \_\_\_\_\_  
APPROVED FOR CONSTRUCTION

MAYOR, TOWN OF CROSS ROADS DATE \_\_\_\_\_

THE UNDERSIGNED, THE TOWN SECRETARY, OF THE TOWN OF CROSS ROADS, TEXAS, HEREBY CERTIFIES THAT THE FOREGOING FINAL PLAT OF THE \_\_\_\_\_ SUBDIVISION OR ADDITION TO THE TOWN OF CROSS ROADS WAS SUBMITTED TO THE TOWN COUNCIL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2016, AND THE COUNCIL, BY FORMAL ACTION, THEN AND THERE ACCEPTED THE DEDICATION OF STREETS, ALLEYS, PARKS, EASEMENTS, PUBLIC PARKS, AND WATER AND SEWER LINES, AS SHOWN AND SET FORTH IN AND UPON SAID PLAT, AND SAID COUNCIL FURTHER AUTHORIZES THE MAYOR TO NOTE THE ACCEPTANCE THEREOF FOR CONSTRUCTION BY SIGNING HIS/HER NAME AS HEREIN ABOVE SUBSCRIBED.

WITNESS MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, AD, 2016.

REPLAT FOR REVIEW PURPOSES ONLY

**KAZ SURVEYING**  
1720 WESTMINSTER DENTON, TX 76205 (817) 302-3416  
JOB NUMBER: 160626-TP  
DRAWN BY: JZ  
DATE: 1-22-2016  
R.P.L.S.  
KENNETH A. ZOLLINGER

REPLAT  
OAK GROVE RETAIL II ADDITION  
1 COMMERCIAL LOT  
LOT 1RB  
BEING 1.07 ACRE IN THE MARSELLA JONES SURVEY,  
ABSTRACT NUMBER 062, IN THE TOWN OF CROSS  
ROADS, DENTON COUNTY, TEXAS

LEGEND

F.E., A.E. & U.E. = FIRELINE, ACCESS & UTILITY EASEMENT  
S.E. = SANITARY SEWER EASEMENT  
B.L. = BUILDING LINE  
S.S.E. = SANITARY SEWER EASEMENT  
L.E. = UTILITY EASEMENT  
D.A.B.G.C.T. = DEED RECORDS DENTON COUNTY TEXAS  
P.L.D.C.T. = PLAT RECORDS DENTON COUNTY TEXAS  
P.O.B. = POINT OF BEGINNING  
C.I.P. = CAPPED IRON ROD FOUND  
C.I.P. = CAPPED IRON ROD SET  
R.O.W. = RIGHT OF WAY  
NAD83 = NORTH AMERICAN DATUM 1983  
C = ROAD CENTERLINE

NORTH  
1" = 32'



SURVEYOR:  
KAZ SURVEYING, INC.  
1720 WESTMINSTER DRIVE  
DENTON, TEXAS 76205  
PHONE: (817) 302-3416  
TOLP. FIRM #10002100

OWNER:  
CROSS ROADS CROSSING, LTD.  
3008 EAST HEARDEN PARKWAY, BUILDING 300  
CARROLLTON, TX 75010  
CONTACT: STACY G. STANORICE

ENGINEER:  
HOMER ENGINEERING, INC.  
P.O. BOX 294327  
LEWISVILLE, TX 75027  
PHONE: (972) 938-6995  
TOLP. FIRM #7-8440



**Universal Variance Application**  
**THERE IS A FEE FOR FILING FOR A VARIANCE**

Date of Application: 03-17-16  
Duration of Request: permanent  
Legal Description of property: Oak Grove Retail Lot 1rb

Applicant's Name: Bates & Martin Architects, LLC Phone No: 940-566-5465  
Status of Applicant (Owner/Agent): Agent  
Applicant's Address: 521 S. Loop 288 Suite 165, Denton, TX 76205  
Fax No: \_\_\_\_\_ email Address: mbates@batesmartin.com  
Owners Name/Address: 3B&L Investments  
Phone No: 940-566-5465  
Fax No: \_\_\_\_\_ email Address: \_\_\_\_\_

Description and grounds for appeal: Requesting a variance on 10 ft landscape bed due to lot size after right of way dedication

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Applicant: *Michael Bates* Date: 3-17-2016

The following must be submitted with the completed petition before processing and scheduling.

1. Application and the appropriate fee w/any drawings, maps etc requested on the application
2. Filing Fee
3. Access Town Code of Ordinances @ [www.crossroadstx.gov](http://www.crossroadstx.gov)
4. Site plan or graphic depiction of what the variance is for

<b>For Office Use Only</b>		
Completed Application (Date) _____	Check # _____	Receipt # _____
Approval Date _____	Signature _____	



**Universal Variance Application**  
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Status of Applicant (Owner/Agent): Agent  
Applicant's Address: 521 S. Loop 288, Suite 165, Denton, TX 76205  
Fax No: \_\_\_\_\_ email Address: mbates@batesmartin.com  
Owners Name/Address: 3B&L Investments  
Phone No: 940-566-5465  
Fax No: \_\_\_\_\_ email Address: \_\_\_\_\_

Description and grounds for appeal: Requesting a variance on side yard setback for the canopies due to size of lot

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Applicant: *Michael Bates* Date: 3-17-2016

The following must be submitted with the completed petition before processing and scheduling.

1. Application and the appropriate fee w/any drawings, maps etc requested on the application
2. Filing Fee
3. Access Town Code of Ordinances @ [www.crossroadstx.gov](http://www.crossroadstx.gov)
4. Site plan or graphic depiction of what the variance is for

<b>For Office Use Only</b>		
Completed Application (Date) _____	Check # _____	Receipt # _____
Approval Date _____	Signature _____	



# TREE REMOVAL PERMIT APPLICATION

Based on Town of Cross Roads Code of Ordinances

Date: \_\_\_\_\_

Applicant Name: \_\_\_\_\_

Property Owner Name and Signature: \_\_\_\_\_

Property Address: \_\_\_\_\_

Phone: \_\_\_\_\_ email: \_\_\_\_\_

## REASON FOR PERMIT REQUEST

A Tree Preservation and Protection permit is required for the following:

- I have a tree/s 18 inches or greater DBH (diameter at breast height/ 4 ½ foot height) and must get council permission for removal
- I am a contractor developing a new residential property or lot/s and prior to any clearing of trees over 6” in DBH I am submitting a tree preservation plan
- I own or represent an owner for an agricultural/residential property and need a permit to remove trees 6” or greater DBH including dead trees.
- I am developing a commercial property and **PRIOR** to any clearing or removal of trees or other action that could impact the trees I am submitting a tree preservation plan
- I am removing dead trees over 6” DBH (diameter at breast height/4 ½ foot height). Describe below
- THERE ARE NO TREES ON MY PROPERTY

Description of Action: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

(Please attach an additional sheet if more space needed)

## DOCUMENTATION ATTACHED

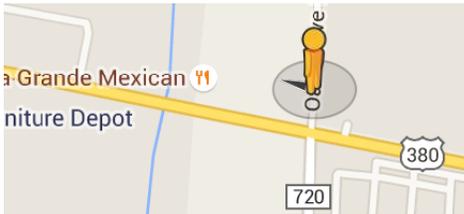
- Photos
- Tree Preservation Plan
- Tree Location
- Map
- Signed Affidavit
- Other \_\_\_\_\_

<b>OFFICE USE ONLY</b>			
Rec'd by: _____	Date _____	Time _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
Signature: _____			
Date: _____			
Reason: _____			



Image capture: Jul 2015 © 2016 Google

Lincoln Park, Texas  
Street View - Jul 2015



Google Maps

RECEIVED

FEB 01 2016

TOWN OF CROSS ROADS COMMERCIAL PERMIT APPLICATION

Town of Cross Roads

Date: February 1, 2016

Application # 2016-0201-030

Permit Address TBD by the Town of Crossroads Northwest Corner of U.S. 380 & Oak Grove Road

Business Name Crossroads Carwash (Official name has not been determined) Finished Sq Ft 4,493 Unheated Sq Ft 6,767

Property Description (Acreage or Sq Ft of Lot) Lot 1RB Block Legal Description Lot 1RB Oak Grove Retail Addition

Description of Work/Intended Use: (Materials exterior & roof, New, Remodel, Expansion, etc.) Construction of a drive-thru car wash with stand alone vacuum stations. The exterior will have integral color split faced block with stone accents. The roofs will be metal roofing material with standing seam on roofs visible from the roadways.

General Contractor Links Construction, LLC Phone 940-566-5465 Email Address: Fax:

Owner/Tenant 3B&L Investments, LLC Phone 940-382-5000 Mailing Address 525 S Loop 288 Suite 105 Denton, Tx 76205

Electrical Contractor TBD Phone

Plumbing Contractor TBD Phone

HVAC Contractor TBD Phone

Other Contractor TBD Phone

I agree to allow no work on which separate Permits are required (signs, gasoline tanks, plumbing installations, electrical work, awnings, etc.) to be done until such Permits are obtained. I have carefully examined and read the completed and know the same to be true and correct, and hereby agree that if a Permit is issued, all provisions of the Town Ordinances and State laws will be complied with, whether herein specified or not. This permit becomes null and void if work or construction is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work has commenced. I also agree that this Permit is not transferable to any other party (ies) I have filed a MSDS for all hazardous materials with the Aubrey Fire Department.

\*If construction is not completed within 1 year, applicant must apply to Planning and Zoning for an extension of the original Building Permit. I verify that this building site does not lie within the 100 YEAR FLOOD PLAIN.

Property Owner's Signature [Signature] Date Feb. 1, 2016

Applicant Signature [Signature] Date Feb. 1, 2016

Applicant Name (Please Print) Michael Bates Tel #: 940-387-4881

For Office Use Only

Date rec'd Application Rec'd by Culvert Application Septic Plans Site Plan (4) Sets of Building Plans CD of Building Plans (2) Engineered Foundation Plans Energy Code Info Sub Contractor Info Architectural Review Inspector's Review Plan Review Amt. CK # Date Rec'd Receipt # Septic Review Amt. CK # Date Rec'd Receipt # Bldg Permit Amt. CK # Date Rec'd Receipt # Inspections/C of O/ Culvert Amt. CK # Date Rec'd Receipt #

Permit Issued by Date Review Type Commercial Reviewer Name [Signature] Date 2-16-16 Pass Fail

Date Pass Fail



# North Central Texas Inspection and Plan Review Services

1816 Redwood Place, Denton, TX 76209 Ph. (940)383-4447/ Mobile (940)368-4519

---

## Building Code Comments for Cross Roads Car Wash Hwy 380 and Oak Grove Rd.

**Denied**

5537 Sq. Ft.

2-17-16

1. Comments cover an in-depth look at plans as submitted. However, omission of specific plan comments does not absolve the contractor of the responsibility for insuring that all construction complies with the 2006 International Codes as adopted by the Town of Cross Roads including the 2009 International Energy Conservation Code. Requirements for residential construction can be found in the 2006 International Building Code (Electrical to comply with the 2008 NEC as well as the 2009 IECC)
2. Interior lighting must comply with the bi-level switching and tandem wiring provisions of the 2009 IECC.
3. Heat traps to be installed in inlet and outlet sides of water heater unless part of a re-circulating system. Insulate first 8' of both water lines at water heater if pipe built heat traps are installed.
4. T&P line from water heater to run to exterior of building or to properly plumbed waste receptor. If run to waste receptor, drain from receptor must be Cast Iron, Copper DWV or CPVC.
5. All refrigerant lines to be insulated with min. 1" pipe insulation.
6. Condensate to be run to house side of wet trap.
7. **Smoke detector required in return side of HVAC systems rated > 2000 CFM.**
8. **Minimum backflow protection shall be RPZ's installed at point of use for all potential cross connections.**
9. **All mechanical equipment shall be screened from view.**
10. **Exit and emergency lighting per 2006 IBC & IFC.**
11. **Fire sprinkler and alarm plans require a separate permit and plan review and are a deferred submittal. (If required)**
12. **Sign plans require a separate permit and plan review and are a deferred submittal.**

### Comments to be Addressed before Permit will be Issued

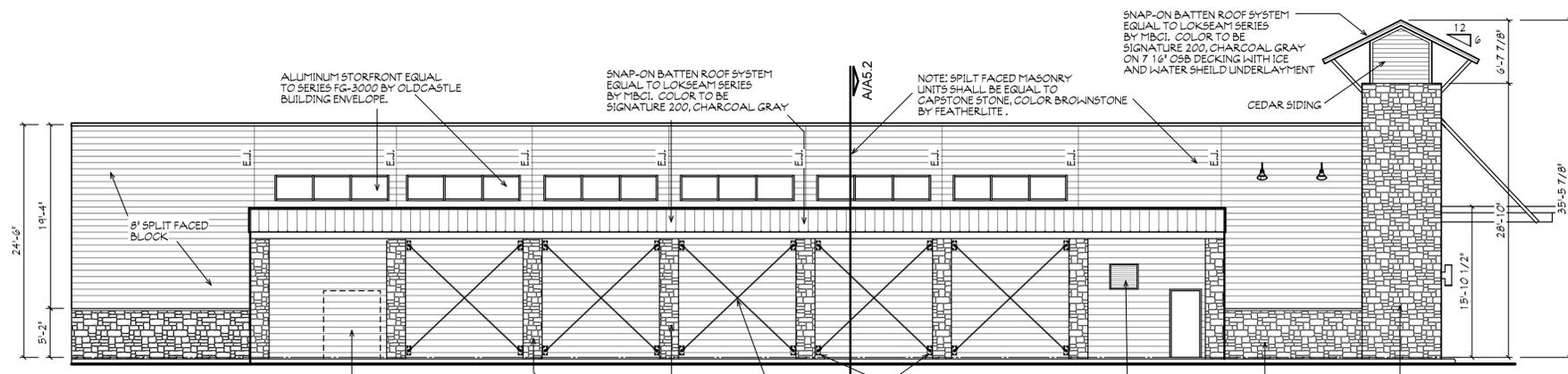
1. Revise Energy Code report for Envelope to show compliance with 2009 IECC not 2006 IECC.
2. **Provide Energy Code compliance reports for interior and exterior lighting as well as mechanical. (Revise Interior lighting report. Number of fixtures and fixture wattage appear to be mixed up)**
3. Code compliance on Cover sheet indicates 2006 International Codes which is correct. Sheet M2 shows compliance with 2012 IMC.
4. **Gas sizing diagram shows total developed length of 280 ft. and total gas demand of 200 CFH. Sizing shows 1". Per Table 402.4(2) the minimum size gas line would need to be 1-1/4".**

5. Provide exterior lighting calculations with re-submittal to verify maximum 80,000 lumens per acre per Crossroads ordinance. (Did not find any calculations)

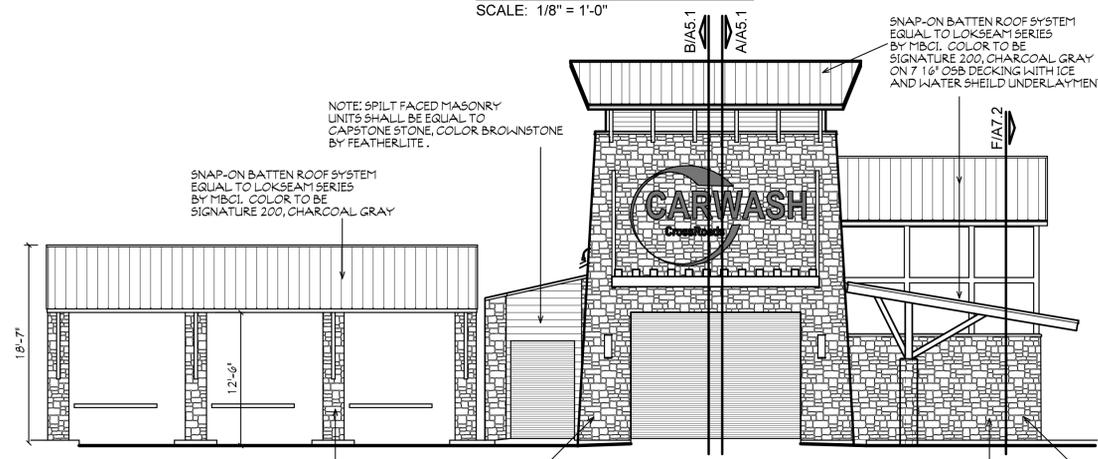
If you have any questions or comments, please feel free to contact me at (940)368-4519 or contact the Town of Cross Roads at (940)365-9693.

Thank You,

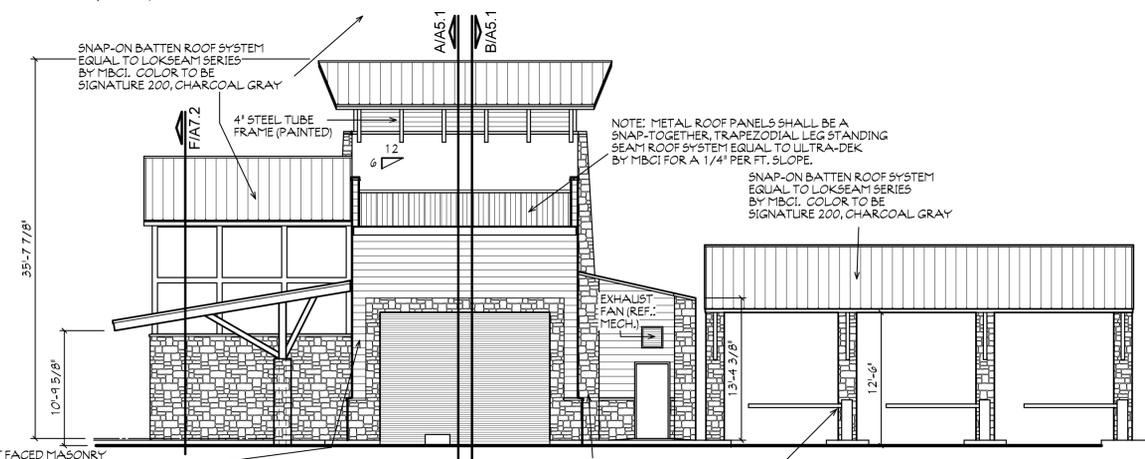
Rodney Patterson  
Plans Examiner/Inspector  
North Central Texas Inspection and Plan Review Services



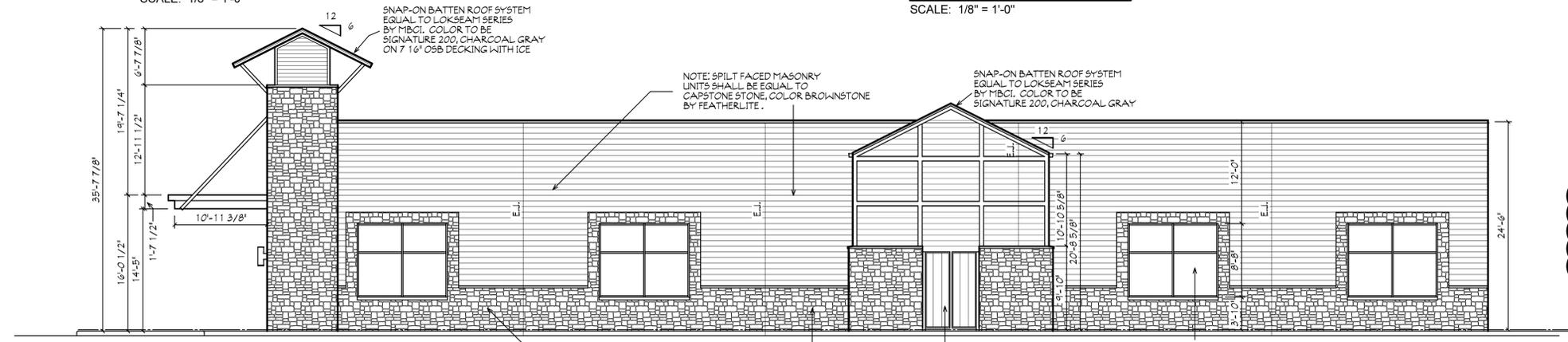
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

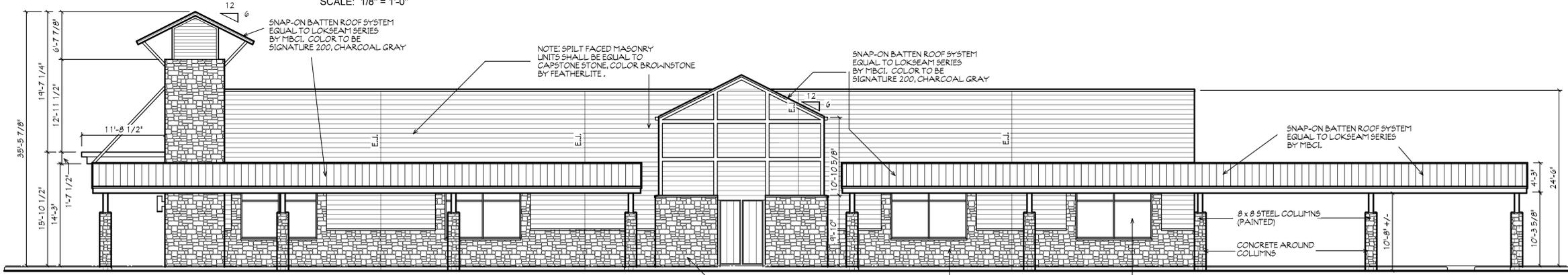


**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

EXTERIOR WALL CALCULATIONS:  
TOTAL WALL AREA: 7,630 S.F.  
(EXCLUDING WINDOWS AND DOORS)  
STONE VENEER AREA: 2,788 S.F. (36.5%)



**EAST ELEVATION WITH VACUUM CANOPIES**  
SCALE: 1/8" = 1'-0"

**Michael A. Bates**  
Architect  
**Mark M. Martin**  
Architect

**BATES ARCHITECTS MARTIN**

521 S Loop 288 Suite 105 Denton, TX 76205  
940.387.4881

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A NEW CAR WASH FOR CROSS ROADS, TEXAS

**CARWASH**  
Cross Roads

NORTHWEST CORNER OF U.S. HWY. 380 & OAK GROVE RD.

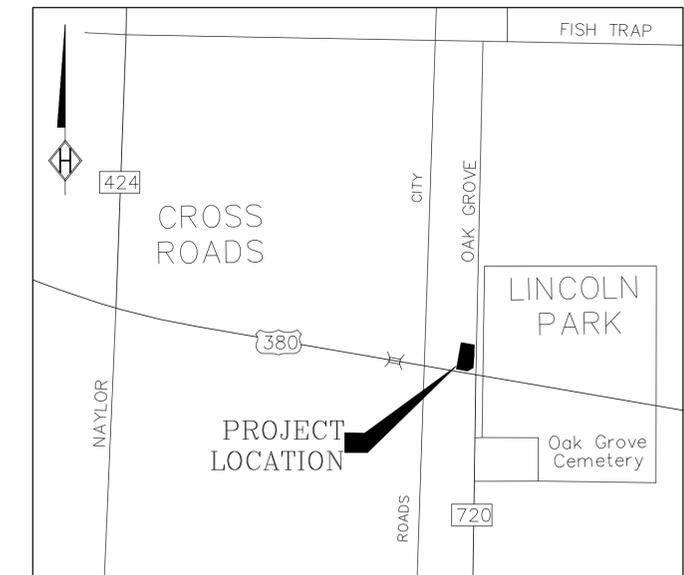
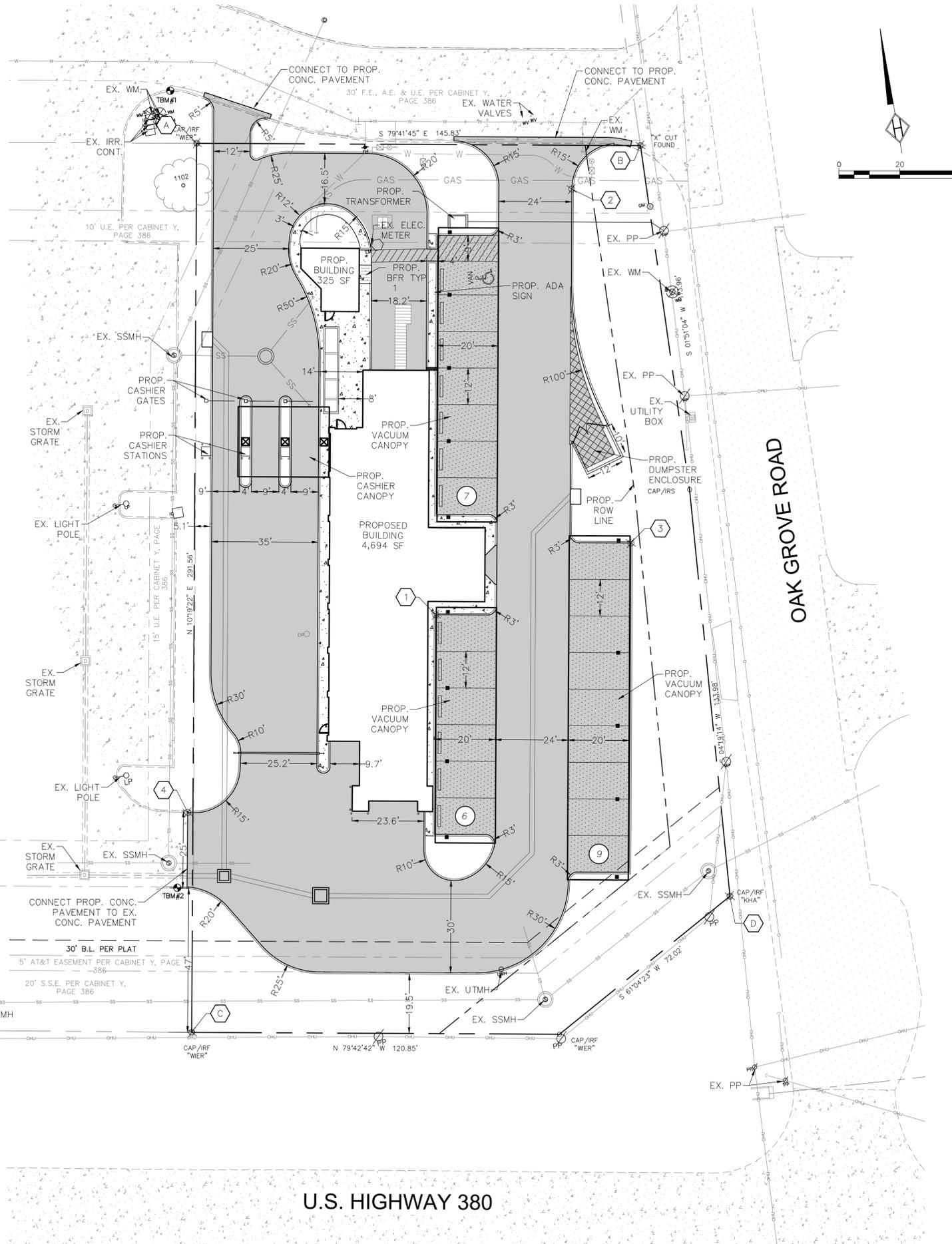
REGISTERED ARCHITECT  
STATE OF TEXAS  
March 8, 2016

BMA PROJECT NO: 15-159  
DATE: Feb. 1, 2016  
REV 1 Feb. 26, 2016  
REV 2 Mar. 8, 2016

ELEVATIONS  
**A4.1**

**SITE INFORMATION**

PROPOSED BUILDING AREA = 5,019 S.F.  
 PARKING REQUIRED:  
 OFFICE = 325 S.F.  
 1 SPACE PER 450 S.F. = 1 SPACES  
 CAR WASH = 4,694 S.F.  
 1 SPACE PER 700 S.F. = 7 SPACES  
 PARKING REQUIRED: 3 SPACES  
 PARKING PROVIDED: 3 SPACES  
 HANDICAP PARKING REQUIRED: 1 SPACE  
 HANDICAP PARKING PROVIDED: 1 SPACE



**VICINITY MAP**  
 SCALE: 1"=1000'

**PAVEMENT LEGEND**

- DUMPSTER PAD PAVEMENT**  
 PROPOSED 8" 4,000 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
- HEAVY DUTY PAVEMENT**  
 PROPOSED 7" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
- LIGHT DUTY PAVEMENT**  
 PROPOSED 5" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
- SIDEWALK PAVEMENT**  
 PROPOSED 4" 3,500 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.

- PAVEMENT NOTES:**
- ALL PAVEMENT SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AT OR ABOVE OPTIMUM MOISTURE.
  - THE CONTRACTOR SHALL DOWEL & EPOXY #4 X 24" SMOOTH BARS @ 24" CENTERS ALONG ALL PROPOSED TO EXISTING CONCRETE EDGES W/ 3/4" EXPANSION JOINT & SELF LEVELING JOINT SEALING COMPOUND.
  - THE CONTRACTOR SHALL PROVIDE A 1/2" EXPANSION JOINT W/ SELF LEVELING JOINT SEALING COMPOUND BETWEEN THE PROPOSED CONCRETE PAVEMENT AND THE PROPOSED BUILDING.

**DESIGN POINTS**

PT	NORTHING	EASTING	PT	NORTHING	EASTING
A	7132021.8230	2434232.3032	1	7131855.9359	2434282.8032
B	7131995.7381	2434375.7886	2	7131985.6115	2434351.0816
C	7131806.2162	2434191.2849	3	7131867.9583	2434350.0348
D	7131734.9840	2434180.0570	4	7131748.2350	2434362.0030

**ARCHITECT**  
 Bates Martin Architects  
 521 S. Loop 288, Suite 105  
 Denton, Texas 75205  
 Contact: Michael Bates  
 Phone: 940-387-4881

**ENGINEER**  
 Homeyer Engineering, Inc.  
 P.O. Box 294527  
 Lewisville, Texas 75029  
 Contact: Steven R. Homeyer, PE  
 Phone: 972-906-9985

**U.S. HIGHWAY 380**

**PRELIMINARY PLANS**  
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.  
 STEVEN R. HOMEYER, PE # 86942  
 DATE: 01/13/2016

**HOMEYER ENGINEERING, INC.**  
 TBP# FIRM REGISTRATION NO. F-8440  
 P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029  
 972-906-9985 PHONE • 972-906-9987 FAX  
 WWW.HEI.US.COM



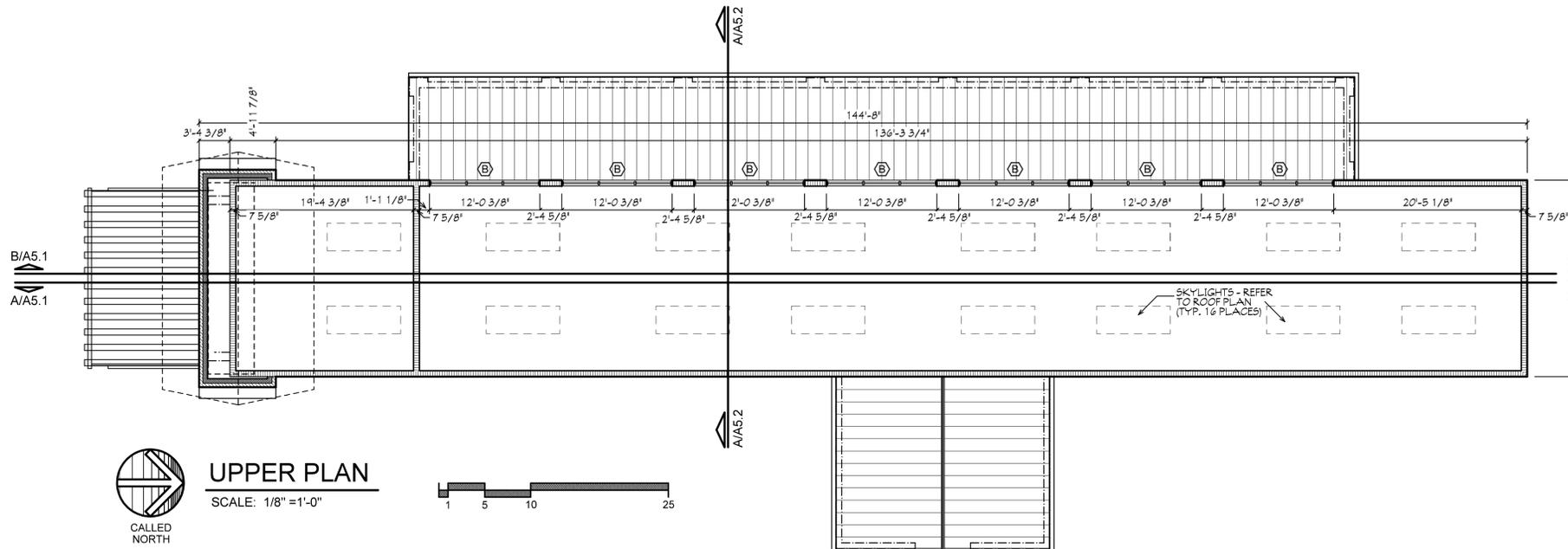
CSS ADS CA AS  
 LOT BAK E E TAIL  
 TON C SS ADS  
 DENTON C N T E AS

**SITE PLAN**

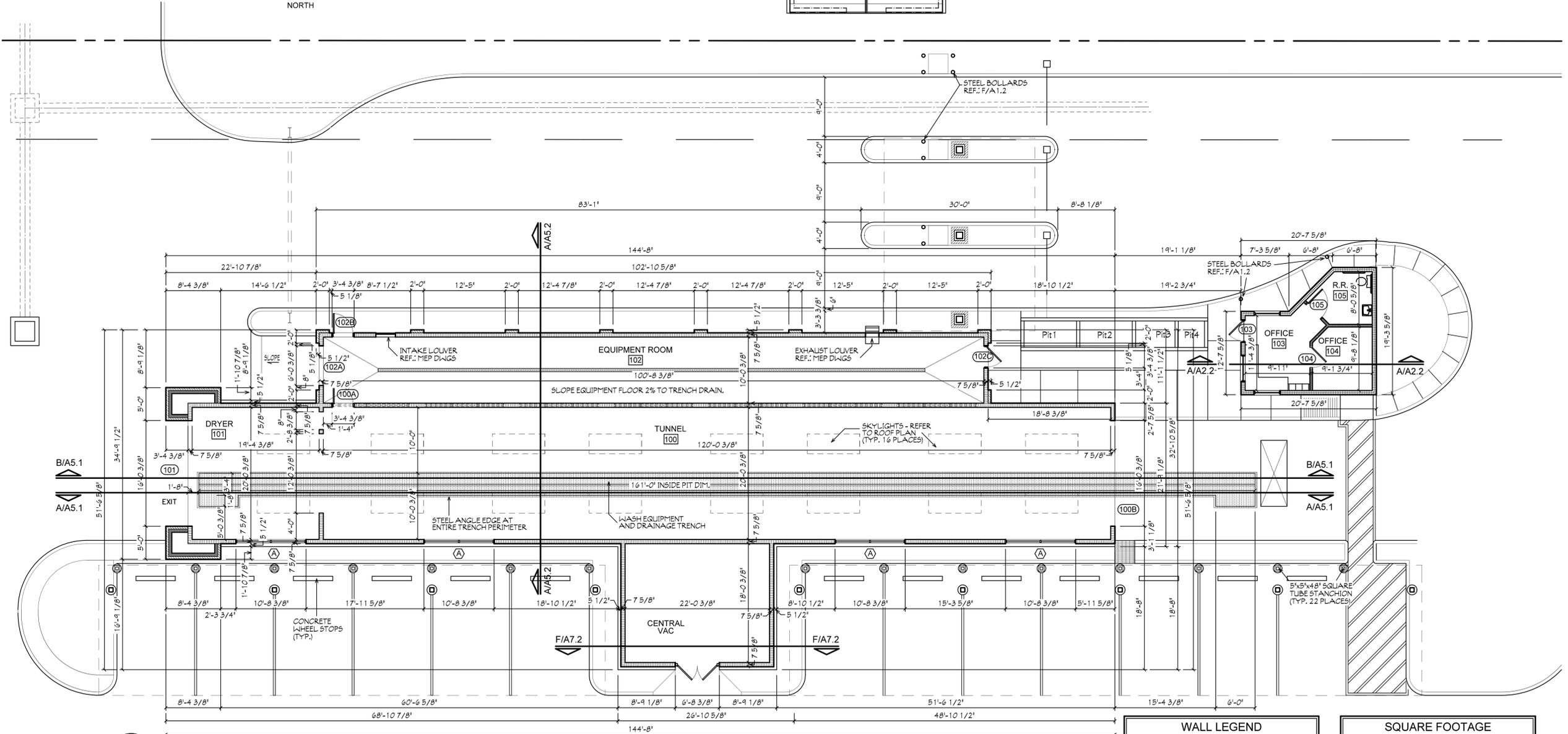
DRAWN: SRH  
 DATE: 11/09/2015  
 HEI #: 15-178

**SHEET NO**  
 C





**UPPER PLAN**  
SCALE: 1/8" = 1'-0"



**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**WALL LEGEND**

	CMU WALL
	CMU WALL WITH INSULATED CELLS
	STONE VENEER
	METAL STUD WALL

**SQUARE FOOTAGE**

MAIN BUILDING	4,687 SQ. FT.
OFFICE BUILDING	327 SQ. FT.
<b>TOTAL BUILDING</b>	<b>5,014 SQ. FT.</b>

**BATES ARCHITECTS MARTIN**  
 Michael A. Bates Architect  
 Mark M. Martin Architect  
 521 S Loop 288 Suite 105 Denton, TX 76205  
 940.387.4881  
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**CARWASH**  
 CrossRoads  
 A NEW CAR WASH FOR CROSSROADS, TEXAS  
 NORTHWEST CORNER OF U.S. HWY. 380 & OAK GROVE RD.

REGISTERED ARCHITECT  
 STATE OF TEXAS  
 February 1, 2016

**BMA PROJECT NO: 15-159**  
 DATE: Feb. 1, 2016  
 REV  
 REV

**FLOOR PLAN**  
**A2.1**

ARTICLE 4.05 SIGNS\*

Council Changes are in Blue  
PZ Recommendation is in Red

ARTICLE 4.05 SIGNS\*

**Sec. 4.05.001 Purpose and intent; application**

(a) The purpose and intent of this article is to regulate, control and administrate the use of signs within the boundaries of the town and within the town's extraterritorial jurisdiction, and to provide for the safety and well-being of town's citizens by providing safe and aesthetically pleasing signage without causing undue hardship or burden on businesses.

(b) All ordinances heretofore adopted by the town regulating the erection, structure, size location, and placement of all signs and advertisements shall be and are hereby made applicable to all properties and land within the extraterritorial jurisdiction of the town in addition to the corporate and territorial limits of the town to the extent that such regulations are applicable to outdoor signs, and the town does hereby extend the provisions of said outdoor sign regulatory ordinances to the town's area of extraterritorial jurisdiction.

ARTICLE 4.05 SIGNS\*

**Sec. 4.05.002 Responsibility for compliance**

Any permittee, owner, manager, agent, occupant, person or persons in charge of a premises; person or persons having the beneficial use of the property on which a sign is erected, maintained or displayed; the owner of the land or structure on which a sign is located; a contractor or person or persons in charge of erecting, maintaining or displaying a sign; or, anyone who causes a sign to be erected, displayed or maintained, are all subject to the provisions of this article.

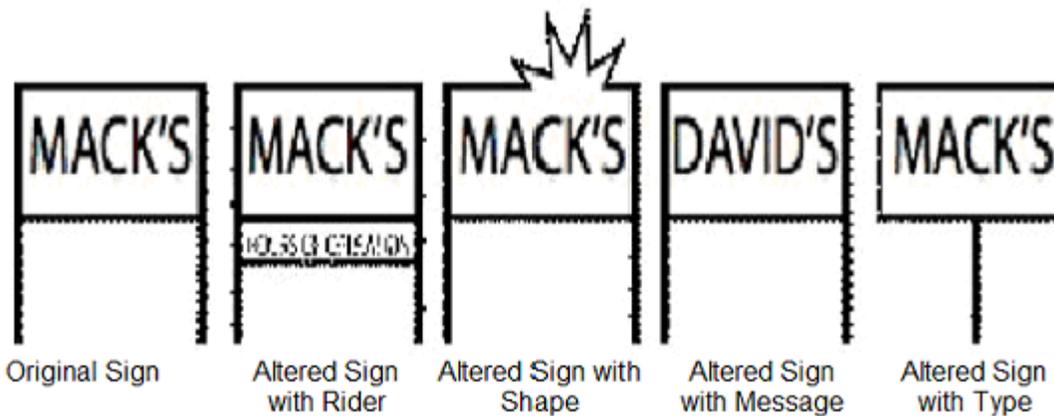
**Sec. 4.05.003 Definitions**

For the purpose of this article the following definitions shall apply unless the context clearly indicates or requires a different meaning.

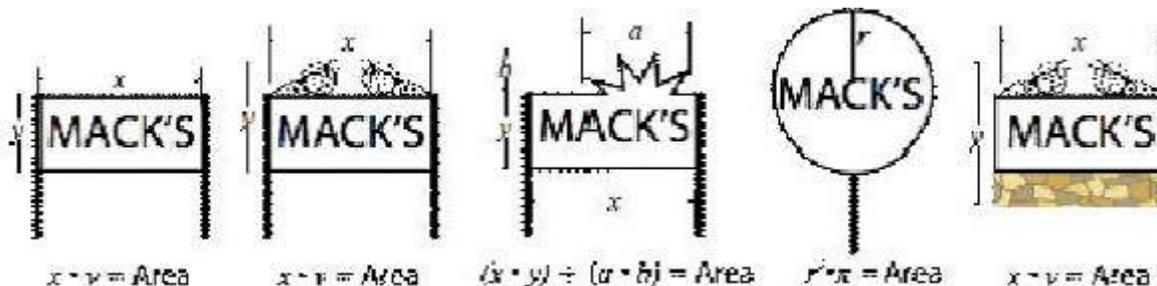
A- *frame sign*. A temporary sign with two faces designed to stand independently of other structures or fixtures. The top edges of both sign faces may be connected or placed together.



Alter. To change the size, shape, outline, configuration, intent, location or type of sign.



Area of a sign. The area of a sign shall be measured as the area within a series of straight lines around the outermost extremities of all text, symbols, graphics, advertising surfaces, framing, background and ornamentation, but not including sign poles or other supporting structures. If dimensions and a means of calculating the area of circular, oval-shaped or triangular signs are readily available, they may be used for such signs.



Awning. An architectural projection designed to provide weather protection, identification or decoration, and

supported by the structure to which it is attached. An awning is composed of a frame over which is placed a cover of fabric or other material.

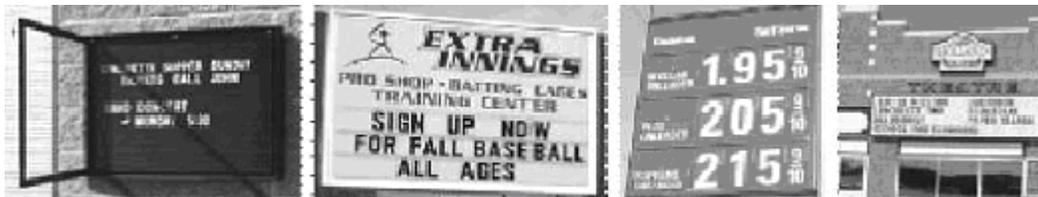


Banner. A temporary sign, other than a decorative civic flag or banner, constructed of fabric or other nonrigid material and erected so as to be visible from the outside of a structure.

Building official. The building official of the town or the building official's authorized representative.

Building space. The gross useable interior square footage of a building, excluding porches, breezeways, exterior un-walled storage, and vehicle ports.

Bulletin board. A sign containing information where a portion of such information may be periodically changed, providing that such change shall be effected by the replacement or interchange of letters, numbers or other graphic symbols by insertion, attachment, or similar means.



Canopy. A roof-like structure of permanent construction, either freestanding or supported by an adjacent structure and open on two or more sides. Examples of canopies include those structures erected above the fuel pumps at a service station or the lanes of a drive-thru facility.



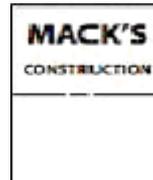
Changeable advertisement. A permanent sign comprised of a fixed frame of a type approved by the building official holding a removable promotional placard or insert [including digital pricing inserts for gas station pricing or digital menu board](#).



Coming soon sign. A sign which announces the beginning or opening of a business, activity, event or institution in the near future.



Contractor sign. A minor sign advertising any contractor, builder or other firm performing work on a property.



Decorative civic flag or banner. Any sign made of lightweight plastic, fabric or other nonrigid material suspended from structural members when used to promote any local community project or event sponsored or co-sponsored by the town, the Aubrey Independent School District, or the Aubrey Area Chamber of Commerce.



Development directional sign. A temporary off-premises sign which provides traffic direction to new residential development.

Digital Price Changer. A mechanical or electronic module that is part of a gas station sign (pole, freestanding or monument) that updates pricing of fuel

Dilapidated or deteriorated condition.

- (1) That condition as determined by the building official in which any part of a sign is chipped, flaked, faded, corroded, rusted, broken, damaged, defective, missing, torn, bent, dented, cracked, splintered, twisted, inoperable;

(2) Where the message or wording is faded or can no longer be clearly read;

- (3) Where any part of the sign is not in compliance with the requirements of the building, electrical or other model codes currently adopted by the town; or
- (4) Where a sign is more than ten degrees out of vertical alignment.

Directory sign. A sign used for listing the occupants within shopping centers, industrial sites, retail districts, office districts and commercial sites.

Directional sign. A sign designed specifically for the purpose of directing or providing guidance to vehicular and pedestrian traffic on private property.



Display frontage. The length of that side of a structure through which the majority of customers, patrons or visitors enter the structure. Also, any wall of a structure adjacent to a public way or public access area.



Distribute. To deposit, place, throw, scatter, hand out, give or leave any handbill at any location within the town.

Erect. To build, construct, attach, hang, place, suspend or affix a sign, including the painting of signs on the exterior surface of a building or structure or on the exterior or interior surface of a window.

Face. The surface or surfaces of a sign upon which the text or copy is displayed or illustrated.

Flag. A permanent sign made of fabric or flexible material containing distinctive colors, patterns, logos, wording or symbols used to signify or identify civic organizations, corporate logos, or the governments of the United States, the state, Denton County or the town, and generally designed to be mounted on one end so as to move in the wind.

Freestanding business sign. A sign not exceeding 18 feet in height and 160 square feet in total sign structure area including the base, placed on property adjacent to Hwy. 380, Hwy. 377 or Hwy. 424.



Front. One side of a structure through which the majority of customers, patrons or visitors enter the structure.

Garage sale sign. Any temporary promotional sign for the sale of personal household goods in a residentially zoned district or on the property of a nonprofit organization.

General business sign. A sign which is used to identify a business, profession, service, product or activity.

Ground sign. A temporary sign other than a minor sign, banner, pennant, portable sign, or searchlight, which is designed to be placed on or in the ground.



Handbill. Any printed, reproduced or written matter, any sample or device, dodger, circular, leaflet, pamphlet, card, advertising matter or any other matter or literature which directs attention to any person, business, organization, entity, product, service or event.



Help wanted sign. A temporary sign that advertises opportunities for employment.



*Highway sign.* A pole sign exceeding 18 feet in height in an area placed on property adjacent to Hwy. 380, Hwy. 377, or F.M. 424.



*Identification sign.* A sign used to identify the name of shopping, industrial, commercial, retail and office centers.



*Illegal sign.* Any sign which, when erected or displayed, was in violation of any applicable town rule, regulation, requirement or ordinance.

*Illuminated sign.* A sign which has characters, letters, figures, or designs internally illuminated by electric lights, luminous tubes or other means that are specifically placed to draw attention to, or to provide nighttime viewing of, the subject matter on the sign face.

*Incidental sign.* A sign, less than two square feet in surface area, of a noncommercial nature, intended primarily for the convenience of the public. Included are nameplates, signs designating restrooms, address numbers, hours of operation, entrances to buildings, directions, help wanted, public telephone and so forth.

*Inflatable sign.* A balloon or other device expanded or enlarged by the use of air or gas used as a sign or to support or display any sign.

Legal nonconforming sign. Any legal sign that no longer conforms to current town rules, requirements, regulations and ordinances.

Legal sign. Any sign which, when erected or displayed, complied with all applicable town rules, requirements, regulations and ordinances.

Logo. A formalized design or insignia of a company, entity or product which is commonly used in advertising to identify that company, entity or product.

Lot. An individual parcel or tract of land recorded by a plat or deed in the office of the appropriate county clerk.

Menu board. A sign that is used to list items, dishes, meals or specialties to be served.



Minor sign. Any small temporary sign generally, but not limited to being, supported in or on the ground by one or more stakes or other lightweight members. Signs must be professionally made and cannot be hand lettered or spray-painted.

Monument sign. A permanent sign having a low profile, with its width greater than its height. It can be made of stone, metal, wood, brick or other materials approved by the building official. A monument sign shall be solid from the ground up, and all poles or supports shall be concealed.



Multiuse sign. An identification sign combined with a directory sign.

Municipally owned sign. A sign which identifies a park, an entrance to the town, a place of interest within the town, a town-sponsored event, or any municipally owned facility.

Noncombustible material. Any material which will not ignite at or below a temperature of 1,200 degrees Fahrenheit and will not continue to burn or glow at that temperature, or shall have a flame spread of 25 or

less.

Obsolete sign. A sign or sign appurtenances which no longer serves a bona-fide use or purpose, or a sign which advertises a business no longer in operation or a product or service no longer offered at that location.

Off-premises sign. A sign pertaining to a business, person, organization, activity, event, place, service or product not located or offered on the premises on which the sign is located. Off-premises signs include, but are not limited to, those signs commonly referred to as billboards.

On-premises sign. A sign erected at or upon the location referred to on the sign.

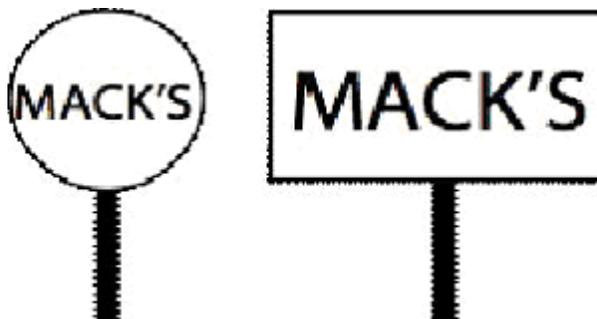
Pennant. A temporary sign made of lightweight plastic, fabric or other material, which may or may not contain a message of any kind, suspended from a rope, wires or string, usually in a series and designed to move in the wind.



Permanent sign. A sign constructed of any rigid material, with or without frames, permanently attached to the ground or to a wall, building or other structure, and displayed for an indefinite period of time. The following signs, as defined in this article, are considered permanent signs: changeable signs, freestanding business signs, monument signs, murals, pole signs and wall signs. All other signs are considered temporary signs.

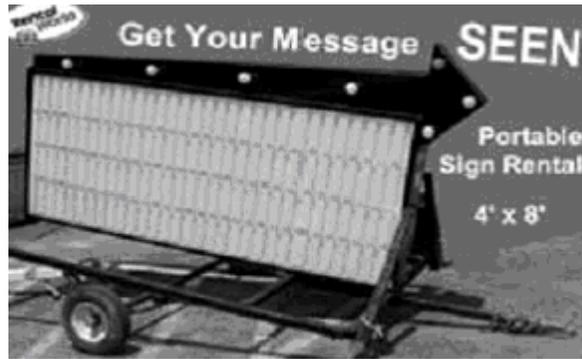
Person. A person, firm, partnership, association, corporation, company, organization or entity of any kind.

Pole sign. A permanent sign attached or anchored to the ground, and supported by one or more poles.



Political sign. A temporary sign that refers or relates to issues, candidates or political measures that constitute the subject of an election.

Portable sign. Any sign mounted on a base, chassis, pallet, frame, trailer, or on wheels or similar mobile structures, so as to be quickly and easily moved from one location to another.



Private real property. All privately owned real property except that which is subject to an easement or other encumbrance that allows a municipality or public utility to use the property for a public purpose.

Prohibited sign. Any sign not expressly permitted within this article or any sign specifically prohibited by this article.

Promotional sale sign. A sign used to designate special sales, offers, or hours of operation.

Property line. The line denoting the limits of legal ownership of property.

Public property. All real property other than private real property.

Readerboard. A sign having moveable or changeable alternating electronic advertisements.



Real estate sign. A temporary on-premises sign pertaining to:

- (1) The sale, rent, lease, financing or availability of any property; or
- (2) The direction of traffic within such real property.

Rear wall. The side or sides of a structure opposite that side which constitutes the front of the structure as defined above, or as determined by the building official.

Reface. To replace, renew, repaint or refurbish the face of a sign without altering the sign in any way.

Reflective display. A device attached to a single pole, post or stanchion and composed of streamers, tinsel or like material designed to attract attention by means of the reflection of light in an intermittent or variable manner.

Roof. Those parts of a structure other than vertical walls that provide protection from the elements.

Scoreboard. A permanent sign that displays scores, results, identification of donors, or other information pertinent to athletic activities.

Searchlight. An apparatus containing a light source and a reflector for projecting a high-intensity beam of approximately parallel rays of light.

Setback. The horizontal distance between any part of a sign and the property line adjacent to streets, highways or thoroughfares, or other public property.

Sign/signage. That which attracts or directs attention by visual means to any object, product, service, place, activity, person, institution or business. A sign includes any fasteners, fixtures, methods, or structures by or upon which a sign is erected, attached, displayed, placed or mounted.

Temporary sign. A sign constructed of any material, with or without frames, not permanently attached to the ground or to a wall, building or other structure, and intended to be displayed for a limited time only. All signs not specifically named under the definition of permanent signs are considered temporary signs.

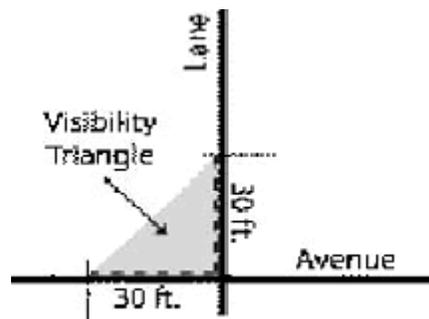
Town. The Town of Cross Roads, Texas.

Ultimate right-of-way. The right-of-way required by the property from the town and the right-of-way required by TX-DOT.

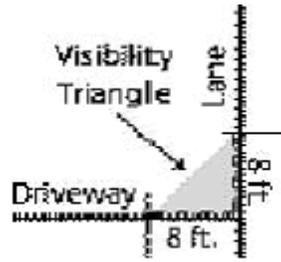
Vehicle. For the purpose of this article only, every device, whether motorized or nonmotorized, in, upon or by which any persons or property is or may be transported or drawn upon a street, highway, or a driving or parking surface.

Visibility triangle.

- (1) Where two streets intersect, the visibility triangle is the area that shall be formed by measuring along both curblines or pavement edge a distance of 30 feet from their point of intersection. The two points thus located are connected by an imaginary line to form a triangle.



- (2) Where a street intersects an alley or driveway, the visibility triangle shall be formed by measuring along both property lines a distance of eight feet from their point of intersection. The two points thus located are connected by an imaginary line to form a triangle.



Wall sign.

- (1) A permanent sign other than a mural erected, displayed or maintained on the wall of a building.
- (2) A sign attached to or painted upon an awning and visible to the exterior shall be considered a wall sign.
- (3) Internally illuminated wall signs shall be constructed of noncombustible materials, except that sign faces may be made of plastic or other slow-burning materials.
- (4) Signs suspended from canopies, soffits, eaves, overhangs or similar structures shall be considered wall signs.

Window sign. A sign painted on or attached to a window or erected, displayed or maintained inside a structure within five feet of a window and visible through such window.

**Sec. 4.05.004 Permits, fees and inspections**

(a) Sign permit required. It shall be unlawful for any person to maintain, display, erect, replace, repair, alter or reface any sign or to cause same to be maintained, displayed, erected, replaced, repaired, altered or refaced within the territorial and corporate limits of the town or within the extraterritorial jurisdiction of the town without first obtaining a permit to do so from the building official, except as may be hereinafter provided.

(b) Signs exempt from permit. A permit shall not be required for the following signs; provided, however, such signs shall otherwise comply with all other applicable sections of this article.

(1) One temporary rigid wall sign not exceeding six square feet in area, which advertises the sale, rental or lease of the premises on which such sign is located.

(2) Memorial plaques, building identification signs, and building cornerstones when cut or carved into the masonry surface or when made of noncombustible material and made an integral part of the building or structure. These signs not to exceed four square feet in area.

(3) On-site directional signs not exceeding eight square feet in area and four feet in height, provided such signs do not contain advertising and are not used as such. Directional signs are only permitted behind the property line.

(4) Political signs. Political signs cannot exceed 60 days prior to election and must be removed within 7 days after the election.

(5) Traffic or other municipally owned signs, legal notices, danger and such emergency, temporary or nonadvertising signs as may be approved by the town council or the town manager or authorized representative.

(6) Temporary special occasion announcement signs on residential lots for a maximum time limit of five days and no more than 3 times in one calendar year.

(7) Religious emblems when installed in compliance with the zoning and construction codes.

(8) Seasonal decorations other than banners or other signs, for a maximum of 60 days, provided traffic visibility is not affected.

(9) Incidental signs.

(10) The changing of messages, panels, faces or copy of signs designed and intended to be changed on a regular basis, provided the sign is not altered. Examples of such signs are theater marquees, bulletin boards, **menu boards, fuel prices, and changeable advertisements.**

(11) ) Minor signs, except as required elsewhere in this article.

(12) Temporary signs for public, educational and religious activities which do not exceed 16 square feet. Maximum of one per property. Maximum use period of 30 days and maximum total use of 180 days in a calendar year.

(13) Bulletin boards not exceeding 32 square feet in area for governmental, charitable,

educational, or religious institutions when such are located on the premises of said institutions and do not exceed 10 feet in height measured from ground level and do not exceed one per institution, except for sites abutting more than one public street in which case a maximum of one bulletin boards per site will be allowed.

(14) Window signs.

(15) Flags: limit 3 flagpoles per business location.

(c) Application for sign permit. Application for a sign permit shall be made in writing upon forms furnished by the building official. Such application shall contain the location by street and number of the proposed sign structure, as well as the name and address of the owner and the sign contractor or erector. The building official may require the filing of plans or other pertinent information where in the building official's opinion such information is necessary to insure compliance with this article. Four (4) copies of colored plans at 1/4" scale must be submitted along with application.

(d) Permit fees. Nonrefundable permit fees for each sign shall be as provided for in the town master fee schedule.

(e) Permit valid for only sixty days. If the work authorized by a permit issued under this article has not been commenced within 60 days after the date of issuance, nor completed within one hundred twenty (120) days, the permit shall become null and void. If a permit expires by lapse of time, a new permit shall be required before beginning, recommencing or completing the work.

(f) Permit revocable.

(1) The building official may suspend or revoke any permit issued under the provisions of this article whenever:

(A) It is determined by the building official that the permit is issued in error or on the basis of incorrect or false information supplied; or

(B) A sign for which such permit is issued violates any of the provisions of this or any other ordinance of this town or laws of this state or the federal government.

(2) Such suspension or revocation shall be effective when communicated in writing to the person to whom the permit is issued, the owner of the sign or the owner of the premises upon which the sign is located.

(g) Persons ineligible to receive permits. The building official is hereby authorized to withhold issuance of a sign permit to any person who has previously failed or refused to pay any fees or costs assessed under the provisions of this article, or who is currently in violation of any provision of a town ordinance, until such fees are paid or ordinance violations are abated.

(h) Work done without a permit.

(1) Investigation. Whenever any work for which a permit is required by this article has been commenced without first obtaining said permit, a special investigation shall be made before a permit may be issued for such work.

(2) Fee. An investigation fee, in addition to the permit fee, may be collected, whether or not a permit is then or subsequently issued. The investigation fee shall be equal to the amount of the permit fee and will be additional to any permit fee filed.

(i) Inspections.

(1) All signs for which a permit is required shall be subject to inspection by the building official.

(2) Footing or pier hole inspections may be required by the building official for all signs having same.

(3) All signs containing electrical wiring shall be subject to the provisions of the governing electrical code, and the electrical components used shall bear the label of an approved testing agency.

(4) All signs may be reinspected at the discretion of the building official.

**Sec. 4.05.005 Maintenance and removal of signs**

(a) Maintenance of signs.

(1) All signs shall be kept in a proper state of repair and preservation. It is a violation of this article to keep or allow to be kept any sign in a dilapidated or deteriorated condition.

(2) The building official may cause the repair or removal of any sign that is not maintained in accordance with the provisions of this article. All expenses incurred by the town incidental to such repair or removal may be placed as a lien against the property from which the sign is removed.

(3) All signs and sign structures shall comply with minimum standards established by the building codes of the town, as amended, unless standards described in this article are more restrictive, then in such event the provisions of this article shall apply.

(b) Removal or repair of unsafe signs. If the building official shall determine that any sign is unsafe, unsecure or a public nuisance, the building official shall give written notice to the person or persons responsible for such sign. If the permittee, owner, manager, occupant, agent or person having beneficial use of the property or structure(s) upon which such sign is mounted or located fails to remove or repair the sign within ten days after such notice, such sign may be removed by order of the building official at the expense of the permittee, owner, manager, occupant, agent or person having beneficial use of the property upon which it is located. The building official may cause any sign which is an immediate hazard to persons to be removed summarily and without notice. All expenses incurred by the town incidental to such removal may be placed as a lien against the property from which the sign is removed.

(c) Removal of obsolete signs.

(1) Any sign declared by the building official to be an obsolete sign shall be removed by the owner, manager, occupant, agent or person having beneficial use of the property or structure(s) upon which such sign is erected. Removal shall be effected within ten days of the date of written notification to do so from the building official.

(2) Upon failure to comply with such notice, the building official is hereby authorized to cause the removal of such sign, and any expense incidental thereto shall be paid by the owner, manager, occupant, agent or person having beneficial use of the property or structure(s) upon which such sign is mounted or located. All expenses incurred by the town incidental to such removal may be placed as a lien against the property from which the sign is removed.

**Sec. 4.05.006 Sign placement**

(a) Sign use on public property. Notwithstanding other requirements of this article, the building official may approve the placement of decorative civic flags or banners or minor signs on public property on a temporary basis, for the following purposes: (1) seasonal events, (2) special occasions, or (3) civic or community projects, celebrations or events sponsored or co-sponsored by the town, the Aubrey/Denton Independent School District, or the Aubrey Area Chamber of Commerce.

(1) Such approval shall not constitute any type of permanent right, easement or license for the use of public property.

(2) The town may install decorative civic flags or banners on a year-round basis on public property or right-of-way when attached to permanent or other structural members or supports, including, but not limited to, electric light poles.

(b) Legal nonconforming signs. Legal nonconforming signs may be maintained as erected, however such signs must be brought into compliance with current rules, requirements, regulations and ordinances whenever:

(1) The sign is altered;

(2) The sign is destroyed or damaged such that the cost to repair the sign is equal to or greater than 50 percent of its replacement cost; or

(3) The property remains vacant or without a current certificate of occupancy issued by the town for a period of six months or longer.

If the only alteration to a legal nonconforming sign consists of refacing, the sign may be otherwise maintained as erected.

ARTICLE 4.05 SIGNS\*

Sec. 4.05.007 Prohibited signs and activities

(a) Any sign, placement or use of a sign not specifically described or allowed by this article is prohibited.

(1) Safety and traffic.

(A) Any sign erected in a manner that would confuse or obstruct the view or interpretation of any official traffic sign, signal or device is prohibited.

(B) No sign shall be erected or material distributed in such a manner as to constitute a public hazard, menace or danger.

(C) No sign may be erected within the visibility triangle.

(2) Certain illuminated signs prohibited.

(A) No sign shall be illuminated to such an intensity or in such a manner as to constitute a traffic hazard or public nuisance.

(B) Moving, flashing, animated, intermittently lighted, changing color, revolving or similarly constructed signs, beacons, jump clocks or digital display devices showing messages, pricing information, and similar data are prohibited, with the exception of scoreboards and time and temperature displays. **Fuel price displays that do not flash, and menu boards that do not flash and are less than 18 square feet with a max height of six feet, limit one per drive-through**

(C) No portion of an illuminated sign shall have luminescence of more than 200 foot-lamberts.

(D) No illuminated sign shall be erected within 150 feet of a residential district if the lighting is shielded from view of the residential district.

(3) Off-premises signs. All off-premises signs are prohibited. This includes all signs commonly referred to as billboards.

(4) Usage or content of signs.

(A) Signs that display any obscene, indecent, suggestive or immoral matter as determined by the building official are prohibited. Decisions of the building official regarding that which constitutes such matter may be appealed to board of adjustments.

(B) The use of any actual goods, wares, merchandise, vehicles or articles for sale or display as a sign or part of a sign is prohibited.

(C) No minor sign, banner or any other sign defined in this article or designated by the building official as a temporary sign shall be used or permitted for use as a permanent sign. No such sign may be displayed longer than 60 days unless a special permit has been granted. A temporary sign may be displayed for 60 days and must be removed for a minimum time period of 30 days.

(5) Miscellaneous prohibitions

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an 200 foot-  
This prohibits an animated sign so we do not have to address the credit to cash or other issues with a changing price changer.  
includes all signs commonly

(A) Except as specified in this article, no sign, name, number or advertising material other than building addresses may be applied to, placed or scattered upon streets, curbs, gutters, sidewalks, trees, rocks, natural features, fences, railings, public telephones, utility poles or any public property. Any sign found on public property or within a right-of-way may be seized. Removal and disposal of same are hereby authorized.

(B) No signage other than the main permitted signs shall be painted on or attached to the poles or support members of any sign.

(C) No business may erect, maintain or display a sign unless a certificate of occupancy has been issued by the town, or application for same has been received by the town, or a building permit has been issued for construction of the business requesting the sign, or an agreement to rent, lease or buy a structure has been finalized by the business requesting the sign.

(D) No sign may be painted, mounted, erected, maintained or displayed on the roof of a structure, or in such a manner as to extend above the walls of a structure. However, as an exception, wall signs may be attached to a mansard roof, provided that such signs do not extend above the top of the roof.

(E) No portable sign shall be permitted or allowed.

(F) Only incidental and directional signs are permitted on the rear wall of any structure.

(G) No sign may have more than two faces. The faces of a double-faced sign may not be separated by an angle greater than 45 degrees. The total square footage of both faces counts toward the allowable square footage.

(H) No inflatable sign shall be permitted.

(I) Distribution of handbills.

(J) Pole signs. 

(K) Highway signs.

(L) No handheld signs, worn signs or costumes shall be permitted for individuals or groups exercising First Amendment rights protected by the United States Constitution, such as the free exercise of religion, freedom of speech, and the right of assembly and organized charity functions are exempt.

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**Sec. 4.05.008 Rules for specific sign types**

(a) Banners.

- (1) Allowed uses: Unrestricted.
- (2) Permit: Required for each banner visible from the outside of a structure.
- (3) Maximum height: Maximum 18 feet above ground or building height.
- (4) Maximum area: Forty square feet.
- (5) Placement:
  - (A) May be attached to buildings, stakes, poles.
  - (B) All corners must be secured to building or supporting member(s), or banner must be mounted in a framework approved by the building official.
- (6) Maximum number: One per business address.
- (7) No more than one banner may be displayed on any single wall of a business.
- (8) Duration:
  - (A) Grand opening: Maximum use period of 60 days within 90 days of certificate of occupancy issuance.
  - (B) Change of business: Maximum use period of 60 days, one time only.
  - (C) Retail promotional: Maximum use period of 30 days, not to exceed four permits per calendar year.

(b) Ground signs.

- (1) Allowed uses:
  - (A) Real estate.
  - (B) Coming soon signs.
  - (C) Commercial or residential development.
  - (D) New business sign.
- (2) Permit: Not required.
- (3) Maximum height: Ten feet.
- (4) Maximum area: Thirty-two square feet.

- (5) Placement:
  - (A) Two feet back from ROW.
  - (B) Ground signs may not be attached to the ground for the purpose of use as a permanent sign.
- (6) Maximum number: One per property.
- (7) Duration: Sign shall be removed when the property is sold, rented, leased, fully developed or within 12 months of occupation.

Exception: Coming soon, duration of active building permit or until business opens.

(c) Minor signs.

- (1) Allowed uses:
  - (A) Garage sale signs.
  - (B) Real estate signs.
  - (C) Civic pride.
  - (D) Contractor signs.
  - (E) Help wanted signs.
  - (F) Development directional.
  - (G) Promotional sales, at restaurants only.
- (2) Permit: Not required.
- (3) Maximum height: Three feet.
- (4) Maximum area: Eight square feet.
- (5) Placement: Private property only. Not allowed on public property.
- (6) Maximum number:
  - (A) Contractor and help wanted signs: One sign.
  - (B) Real estate signs: Three signs.
  - (C) Promotional sales signs: Four signs.
  - (D) Garage sale, development directional and civic pride signs: Not applicable.
- (7) Duration: As noted below:
  - (A) Garage sale signs must be removed no later than the day after the sale.

(B) Contractor signs may not be erected before work begins and must be removed when the work is completed or stopped.

(C) Real estate signs must be removed no later than a week after the closing date, or completion of the project or sale.

(D) Help wanted signs may be only temporary in nature.

(d) Monument signs. Signs greater in length than in height.

(1) Allowed uses:

(A) Bulletin board.

(B) Directional.

(C) Directory.

(D) General business.

(E) Menu board.

(F) Multiuse.

(G) Residential development.

(H) Entrance to a farm or ranch.

(2) Permit: Required.

(3) Maximum height: Ten (10) feet, including monument base, measured from ground level.

(4) Maximum area: Each commercial building shall be allowed either a monument sign or a freestanding business sign, but not both, based on the formula below:

A single-tenant business shall be entitled to one square foot of signage per 50 square feet of total building space, with each business allowed a minimum of 40 square feet and a maximum of 160 square feet, regardless of size.

A multitenant building shall be allowed 1 square foot of signage per 40 square feet of total building space, with each business allowed a minimum of 50 square feet of signage, and a maximum of 160 square feet.

The maximum sign area on either type of sign is 160 square feet, including the base. The maximum size is based on the building footprint. A minimum requirement of 20% of the entire sign area is required for the base. The remaining area is allowed for the sign face. Main sign supporting structure may not be visible. Base must be made of natural stone, brick, poured-in-place decorative concrete, or stucco-covered concrete.

Exception: Menu boards, maximum of 56 square feet total, with a maximum of 8 feet in height.

- (5) Placement:
  - (A) Two feet back from ROW.
  - (B) Not less than 50 feet from any existing pole sign or other monument sign.
  - (C) Not less than 25 feet from adjacent property.
- (6) (A) Maximum number: One per street frontage.
- (B) Exceptions:
  - (i) Directory: One per major entrance.
  - (C) Menu board: Two per drive-thru window. [These may contain electronic displays showing price for customers](#)  
(Ordinance 2014-0421-03 adopted 4/21/14)
    - (i) Directional: Maximum 4. (Ordinance 2015-0518-05, sec. 1, adopted 5/18/15)
- (7) Duration: Permanent.

(e) Freestanding business signs.

- (1) Allowed uses:
  - (A) Directory.
  - (B) General business.
  - (C) Multiuse.
  - (D) [Pole sign](#)  
(Ordinance 2014-0421-03 adopted 4/21/14)
    - (D) Directional. (Ordinance 2015-0518-05, sec. 2, adopted 5/18/15)
- (2) Permit: Required.
- (3) Maximum height: Eighteen (18) feet, including monument base, measured from ground level.
- (4) Maximum area: Each commercial building shall be allowed either a monument sign or a freestanding business sign, but not both, based on the formula below:

A single-tenant business shall be entitled to one square foot of signage per 50 square feet of total building space, with each business allowed a minimum of 40 square feet and a maximum of 160 square feet of total sign (not sign area), regardless of the size of the building. Minimum sign width is 4 feet.

A multitenant building shall be allowed 1 square foot of signage per 40 square feet of total building space, with each business allowed a minimum of 50 square feet of signage, and a maximum of 160 square feet of total sign (not sign area). Minimum sign width is 4 feet.

The maximum total signage is 160 square feet, including the base. A minimum requirement of 20% of entire sign area is required for the base. The remaining area is allowed for the sign face. Main sign supporting structure may not be visible. Base will be made of stone, brick, poured-in-place decorative concrete, or stucco-covered concrete.

- (5) Placement:
  - (A) Two feet back from ROW.
  - (B) Not less than 50 feet from any pole sign or other monument sign.
  - (C) Not less than 25 feet from adjacent property.

(Ordinance 2014-0421-03 adopted 4/21/14)

- (6) Maximum number: One per street frontage.  
Exception: Directory, one per major entrance; directional, maximum 4.

(Ordinance 2015-0518-05, sec. 3, adopted 5/18/15)

- (7) Duration: Permanent.

(f) Wall signs.

- (1) Allowed uses:
  - (A) General business.
  - (B) Real estate signs.
  - (C) Menu board.
  - (D) Identification signs.
  - (E) Multiuse signs.
  - (F) Bulletin board.
  - (G) Directional signs.
  - (H) Directories.
  - (I) Scoreboards.
- (2) Permit: Required.  
Exception: Directional signs and scoreboards, not required.
- (3) Maximum height: Signs may not extend above the top of the wall.  
Exception: Directional signs, four feet.

(4) (A) Maximum area: The total square footage of all wall signs on a structure may not exceed the linear measurement of the display frontage of that structure. When the display frontage includes more than one wall, the total square footage of all wall signs on any one wall of the structure may not exceed the linear measurement of the wall upon which erected. The width of a sign may not exceed 75% of the linear feet of the frontage.

(B) Exception:

(i) Directional signs: eight square feet area.

(ii) Menu boards: 64 square feet. The area of one wall sign used as a menu board shall count against the total square footage of wall signs allowed on a structure.

(C) Canopies, such as those found at service stations and other accessory structures, are considered separate structures from the main structure for the purpose of determining area allowance.

(5) Placement:

(A) Walls of structures or mansard roofs: Signs placed on a mansard roof may not extend above the top of the roof.

(B) Wall signs may not extend more than 12 inches away from the wall on which they are erected or attached.

(C) Wall signs used as menu boards may only be displayed on the side and/or rear walls of a structure.

(Ordinance 2014-0421-03 adopted 4/21/14)

(6) Maximum number: Single-tenant structure five per structure, but the total of combined signs count toward the maximum allowed square feet. A multi-tenant building shall be allowed one (1) square foot of signage per width of tenant's display frontage, with each business allowed up to a minimum of 36 square feet of signage, up to a maximum of 160 square feet, with a maximum letter height of 28 inches. A tenant of a multi-tenant building, occupying a suite that has more than one display frontage may have up to 2 signs. If there are multiple rear entrances into a building, each tenant may place a 2 square foot sign above or on the door to identify the tenant. (Ordinance 2014-1117-04 adopted 11/17/14)

Exceptions:

(A) Scoreboards: One per property.

(B) Canopies and accessory buildings: One per side, if canopies are separated, they count as one per frontage side.

(C) Accessory buildings: One per structure. Signs containing digital price changer, "display numbers" shall not exceed 18" per module nor more than two display faces per side

(7) Duration: Permanent.

(g) Window signs.

- (1) Allowed uses: Unrestricted.
- (2) Permit: Not required.
- (3) Maximum height: Not applicable.
- (4) Maximum area: Signs may not cover over 40 percent of the total glass area of the display frontage.
- (5) Placement: Interior or exterior surfaces of windows and/or glass doors or inside a structure within five feet of windows or doors.
- (6) Maximum number: Not applicable.
- (7) Duration: Not applicable.

(h) Murals.

- (1) For the purposes of this subsection, in addition to the definitions provided in this article, the following definitions shall apply:

*Alter.* To change in any way or to any extent the appearance, size, shape, colors, subject, designs, figures, elements or pictures of a mural.

*Dilapidated or deteriorated condition.*

(A) Where any part of a mural is chipped, flaked, faded, broken, damaged, defective, missing, torn, bent, dented, cracked, splintered, twisted, inoperable, leaning or at angles other than those at which erected;

(B) Where the message or wording is faded or can no longer be clearly read; or

(C) Where any part of the mural is not in compliance with the requirements of the building, electrical, property maintenance or other codes or ordinances adopted by the town.

*Mural.* A painting, design or artistic work applied to an exterior wall for aesthetic purposes.

*Restore.* To return a mural to its exact original appearance and quality from a dilapidated or deteriorated condition.

- (2) No person shall apply, install, erect, or restore a mural, as defined hereinabove, without first having a valid sign permit issued in accordance with this article. The building official shall, prior to issuing a permit, obtain a recommendation from the architectural control committee.
- (3) The maximum height, area, number, and duration requirements applicable to other types of signs shall not apply to murals. The design, location and placement of a mural must be approved by the building official after a recommendation by the architectural control committee, prior to the issuance of a permit. The permit will not be issued until 30 days after final approval by the architectural control committee, so the town council may have an opportunity to review and intervene in the issuance of any permit.

- (4) Standards of construction and content.
- (A) Murals shall be composed of permanent materials and applied only to permanent surfaces. Murals shall not be applied to temporary surface, and all materials used must be resistant to the short-term effects of exposure to the elements.
- (B) Removal of a mural must be accomplished by physical removal from wall of the paint or other material of which the mural is composed, and/or by covering the mural with paint or other material. In both cases, either by physical removal or covering, it must be rendered completely invisible and must maintain the structural and architectural integrity of the structure upon which the mural was applied.
- (5) Murals may contain subject matter consistent with the theme of a business but may not contain branded products, brand names, business names, or logos.
- (6) Other regulations and requirements:
- (A) Maintenance responsibility and standards: At all times during and after application, murals shall be considered the property of the owner and/or occupant of the structure to which applied, and said owner and/or occupant shall be responsible for maintenance and upkeep of the mural.
- (B) All murals shall be kept in a proper state of repair and preservation. It is a violation of this section to own, keep or maintain any mural in a dilapidated or deteriorated condition or to permit or allow a mural to be kept in such condition.
- (C) If the building official determines a mural to be in dilapidated or deteriorated condition, the mural shall be restored or removed by the owner and/or occupant of the structure to which it is applied within 30 days of notification, unless granted an extension by the town.
- (D) The building official may cause the removal of any mural that is not maintained in accordance with the provisions of this section. A mural which is kept, maintained or allowed to remain in a dilapidated or deteriorated condition is hereby declared to be a nuisance. Upon the failure of the owner and/or occupant of the premises on which the mural is located to repair or remove the mural following 30 days notice thereof, the town may cause the removal of the mural. The owner and/or occupant shall pay all expenses incurred by the town incident to such removal. In the event of the failure of the owner and/or occupant to remit to the town the expenses incurred in the abatement of the nuisance, a lien may be placed on and against the property on which the mural is removed. Such lien shall bear interest at the rate of ten percent per annum and shall be a first and prior lien, second only to liens for taxes and paving assessments.

ARTICLE 4.05 SIGNS\*

**Sec. 4.05.009 General standards for freestanding business signs and monument signs**

- (a) Construction materials for freestanding business signs and monument signs may include wood, masonry, architectural concrete, metal, or any combination thereof, and any other materials approved by the town council. Sign elements may be carved into, routed, embossed, mounted, or painted or may otherwise be displayed in any manner approved by the town council.
- (b) All freestanding business signs and monument signs must have a minimum landscaped area of six square feet for each horizontal linear foot of sign face.
- (c) All commercial signs should consider the ♦Texas Country♦ architectural standards.
- (d) Illumination. No sign may be illuminated except as follows:
  - (1) Signs may be internally or externally illuminated; however, all light sources must be shielded or directed so as not to create a hazard for motorists or pedestrians or a nuisance to adjacent residential areas or properties.
  - (2) Signs may be internally illuminated provided they are illuminated:
    - (A) Uniformly and evenly.
    - (B) Individually and internally.
    - (C) Without visible raceways, electrical conduits, circuit breakers, or other electrical appurtenances.
  - (3) No illuminated sign or any element thereof may turn on or off, change brightness, or otherwise:
    - (A) Produce apparent continuous motion; or
    - (B) Cause any other message or picture to change.
    - (C) Signs containing digital price changer, "display numbers" shall not exceed 18" per module n more than three display faces per side

Alan  
2016-02-17 02:33:26  
Again prohibits cash credit change.

**Sec. 4.05.010 Illegal nonconforming signs**

Nonconforming existing signs erected prior to the effective date of this article, which were not lawful when erected, shall be removed in accordance with the following:

- (1) Signs that cost less than two thousand dollars (\$2,000.00) to move must be removed within one hundred and eighty (180) days of the date of written notice from the building official.
- (2) Signs which cost more than two thousand dollars (\$2,000.00) to move must be removed within one (1) years of the date of written notice from the building official.
- (3) All illegal nonconforming signs must be completely removed prior to obtaining any new sign permits.

ARTICLE 4.05 SIGNS\*

**Sec. 4.05.011 Variances**

Any person aggrieved by any order, determination or decision of the building official regarding the application, enforcement or interpretation of any term or provision of this article may appeal such order, determination or decision to the town council by submitting a written notice of appeal within twenty (20) days of such order, determination or decision. The council shall have the power to authorize upon appeal in specific cases such variances from the terms of this article as will not be contrary to the public interest, where owing to special conditions, a literal enforcement of the provisions of this section will result in unnecessary hardship, and so that the spirit of this article shall be observed and substantial justice done.

ARTICLE 4.05 SIGNS\*

**Sec. 4.05.012 Penalties**

Any person, firm, corporation or association violating any of the provisions of this article shall be deemed guilty of a misdemeanor and, upon conviction, shall be punished by a fine not to exceed the sum of five hundred dollars (\$500.00), and each and every day such violation shall continue shall be deemed a separate offense. The town may also pursue violations of the terms of any of this article by seeking injunctive relief in a court of proper jurisdiction. The remedies provided for herein shall be cumulative of any and all other remedies provided for by law.

(Ordinance 2014-0421-03 adopted 4/21/14)

(6) Other regulations and requirements:

(A) Maintenance responsibility and standards: At all times during and after application, murals shall be considered the property of the owner and/or occupant of the structure to which applied, and said owner and/or occupant shall be responsible for maintenance and upkeep of the mural.

(B) All murals shall be kept in a proper state of repair and preservation. It is a violation of this section to own, keep or maintain any mural in a dilapidated or deteriorated condition or to permit or allow a mural to be kept in such condition.

(C) If the building official determines a mural to be in dilapidated or deteriorated condition, the mural shall be restored or removed by the owner and/or occupant of the structure to which it is applied within 30 days of notification, unless granted an extension by the town.

(D) The building official may cause the removal of any mural that is not maintained in accordance with the provisions of this section. A mural which is kept, maintained or allowed to remain in a dilapidated or deteriorated condition is hereby declared to be a nuisance. Upon the failure of the owner and/or occupant of the premises on which the mural is located to repair or remove the mural following 30 days notice thereof, the town may cause the removal of the mural. The owner and/or occupant shall pay all expenses incurred by the town incident to such removal. In the event of the failure of the owner and/or occupant to remit to the town the expenses incurred in the abatement of the nuisance, a lien may be placed on and against the property on which the mural is removed. Such lien shall bear interest at the rate of ten percent per annum and shall be a first and prior lien, second only to liens for taxes and paving assessments.

ARTICLE 8.04 LIGHTING REGULATIONS

**Sec. 8.04.006 Special lighting**

(a) Search lights. The use of search lights, strobes and pulsating lights are prohibited, except for public safety purposes by civil authorities.

(b) Telecommunications towers. The nighttime use of white lighting or white strobe lighting is prohibited for use on communications towers.

(c) Temporary, seasonal, festival lighting. The temporary use of low wattage or low voltage lighting for public festivals, entertainment events, celebrations, and the observance of holidays are excepted from the provisions of this article except: (1) where the installation, use or maintenance create a hazard or nuisance from glare; or (2) where the lighting constitutes a light trespass in accordance this article. A lighting permit is required for commercial activities, such as carnivals, and is valid for up to 7 consecutive days. Where possible, lighting should be full cutoff.

(d) All-night lighting. Lighting at places of business or public venues shall be turned off no later than one hour after closing, except where necessary for security purposes. Security lighting shall be limited to that needed for basic security, illuminating entryways by lighting fixtures closest to building entrances, and

minimal lighting in parking areas.

(e) Sports lighting. Lighting for sporting events is excepted from the lumens per net acre limitations as to the playing field only. Full-cutoff fixture design is required and light trespass requirements apply. No outside sporting or entertainment event may start later than 10:00 p.m. or extend beyond 11:00 p.m.

(f) Signs. All illuminated signs must be lighted internally or lighted by top-mounted lights pointed downward. No sign may be illuminated with fixtures not shielded from upward transmission of light. Illuminated off-premises signs must be turned off after 10:30 p.m., and on-site signs turned off upon closing if after 10:30 p.m. Moving, flashing, animated, intermittently lighted, changing color, revolving or similarly constructed signs, beacons, jump clocks or digital display devices showing messages, pricing information, and similar data are prohibited, with the exception of scoreboards, time and temperature displays, **fuel price displays that do not flash, and menu boards less than 12 square feet with a max height of four feet..**

(g) HID lighting. An inventory of existing lights is required prior to the repair, installation, or alteration of any HID lighting.

(h) Unshielded light sources, including bare bulbs, in excess of 15 watts are prohibited.

(i) It shall be a defense to this article if the lighting is:

(1) Airport and airplane lighting for navigational purposes.

(2) Hazard warning lights required by federal or state agencies.

(3) Temporary emergency lighting.

(4) Lighting in swimming pools and other water features governed by article 680 of the National Electrical Code (2006 edition), as amended.

(5) Exit signs and other illumination required by building and fire codes.

(6) Lighting for stairs and ramps, as required by building and fire codes.

(7) Low voltage landscape lighting, if such lighting is shielded so as to eliminate glare and light trespass.

(8) Lighting used to illuminate an American flag.

(9) Decorative seasonal lighting on display for no more than thirty (30) consecutive days.

(10) Street lighting on public streets and highways.

(11) Headlights, taillights and turn signal lights on motor vehicles while being operated on streets and highways.

(6) Other regulations and requirements:

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**BID FORM**

Item No	Spec Item	Name of Pay Item with Unit Price in Words	Bid Quantity	Unit	Unit Bid Price	Amount Bid
1	SC-13	MOBLIZATION	1.0	LS	\$40,000.00	\$40,000.00
2	203	GENERAL SITE PREPARATION	1.0	LS	\$80,000.00	\$80,000.00
3	SP-48/104	REMOVING OLD CONCRETE	361.0	SY	\$20.00	\$7,220.00
4	SP-48/104	REMOVING STAB BASE AND ASPH PAVE(2"-6")	1,940.0	SY	\$10.00	\$19,400.00
5	203	UNCLASSIFIED STREET EXCAVATION	15,800.0	CY	\$20.00	\$316,000.00
6	204	EMBANKMENT	5,200.0	CY	\$6.00	\$31,200.00
7	301	PORTLAND CEMENT STABILIZED SUBGRADE	32,500.0	SY	\$5.50	\$178,750.00
8	302	7" HMAC (TYPE B)	32,500.0	SY	\$29.00	\$942,500.00
9	302	OVERLAY SECTION HMAC (TY D)(VARIES 2"-6")	5,000.0	TON	\$68.00	\$340,000.00
10	302	2" HMAC (TYPE D)	32,500.0	SY	\$8.50	\$276,250.00
11	305	CONCRETE STREET HEADER	47.0	LF	\$30.00	\$1,410.00
12	305	DRIVEWAYS (CONC)	220.0	SY	\$90.00	\$19,800.00
13	305	DRIVEWAYS (ASPH)	1,025.0	SY	\$25.00	\$25,625.00
14	305	DRIVEWAYS (BASE)	270.0	SY	\$22.00	\$5,940.00
15	SP-48/540	METAL BEAM GUARD FENCE	1,150.0	LF	\$32.00	\$36,800.00
16	SP-48/544	SINGLE GUARDRAIL TERMINAL	10.0	EA	\$3,400.00	\$34,000.00
17	SP-48/466	WINGWALL (PW-0)(1W-8 FT)	1.0	EA	\$10,000.00	\$10,000.00
18	SP-48/466	HEADWALL (72" RCP)(TXDOT CH-PW-0)	2.0	EA	\$20,000.00	\$40,000.00
19	SP-48/432	STONE RIPRAP GROUTED (12") WITH TOE WALL	21.0	CY	\$320.00	\$6,720.00
20	SP-48/462	PRECAST CONC BOX CULV (9 FT X 6 FT)	80.0	LF	\$1,400.00	\$112,000.00
21	SP-48/464	RC PIPE (CL IV)(24 IN)	220.0	LF	\$130.00	\$28,600.00
22	SP-48/464	PRECAST CONC BOX CULV (3 FT X 3 FT)	70.0	LF	\$435.00	\$30,450.00
23	SP-48/464	RC PIPE (CL IV)(72 IN)	180.0	LF	\$725.00	\$130,500.00
24	SP-48/465	INLET (COMPL)(PAZD)(FG)4 FTX4FT-3FT-3FT)	1.0	EA	\$7,500.00	\$7,500.00
25	SP-48/466	WINGWALL (PW-0)(HW-11 FT)	2.0	EA	\$35,000.00	\$70,000.00
26	SP-48/467	SET (TY II)(24 IN)(RCP)(6-1)(P)	14.0	EA	\$2,300.00	\$32,200.00
27	SP-48/496	REMOVING OLD STRUCTURES - CMP	415.0	LF	\$22.00	\$9,130.00
28	SP-48/496	REMOV STR (DRIVEWAY CULVERT)	5.0	EA	\$600.00	\$3,000.00
29	SP-48	TEMPORARY PAVEMENT FOR CULVERTS	160.0	SY	\$35.00	\$5,600.00
30	SP-48/560/644	REMOVE AND RELOCATE OR DISPOSE OF TRAFFIC SIGNS, MAILBOXES	21.0	EA	\$350.00	\$7,350.00
31	SP-48	PROJECT SIGN	2.0	EA	\$800.00	\$1,600.00
32	SP-48/644	STREET SIGNS 10BWG (I) SA (P) ASSEMBLY	17.0	EA	\$400.00	\$6,800.00
33	658	DELINEATORS AND OBJECT MARKERS	4.0	EA	\$200.00	\$800.00
34	SP-48/666	REFLECTIVE PAVEMENT MARKINGS TYPE 1 (WHITE) 4" DASHED	12,000.0	LF	\$0.45	\$5,400.00
35	SP-48/666	REFLECTIVE PAVEMENT MARKINGS TYPE 1 (WHITE) 4" SOLID	24,360.0	LF	\$1.20	\$29,232.00
36	SP-48/666	REFLECTIVE PAVEMENT MARKINGS TYPE 1 (YELLOW) 4" SOLID	21,000.0	LF	\$1.20	\$25,200.00
37	SP-48/666	REFLECTIVE PAVEMENT MARKINGS TYPE 1 (YELLOW) 4" DASHED	6,250.0	LF	\$0.45	\$2,812.50
38	SP-48/666	REFLECTIVE PAVEMENT MARKINGS TYPE 1 (YELLOW) 12" SOLID	450.0	LF	\$5.00	\$2,250.00
39	SP-48	BARBED WIRE FENCE REPLACEMENT	900.0	LF	\$12.00	\$10,800.00
40	SP-48	ADJUSTMENT OF EXISTING FIRE HYDRANT ASSEMBLY	6.0	EA	\$2,500.00	\$15,000.00
41	SP-48	TRAFFIC CONTROL (BARRICADES, SIGNS AND TRAFFIC HANDLING)	7.0	MO	\$25,000.00	\$175,000.00
42	SP-45	NOTICE OF INTENT	2.0	EA	\$2,000.00	\$4,000.00
43	202.2	TOPSOIL	45,525.0	SY	\$4.00	\$182,100.00
44	SP-48	HYDROMULCH	45,525.0	SY	\$0.80	\$36,420.00
45	201	TEMPORARY EROSION, SEDIMENTATION AND WATER POLLUTION PREVENTION AND CONTROL	1.0	LS	\$40,000.00	\$40,000.00
46	SP-48	REMOVE AND RELOCATE EXISTING DECORATIVE LIGHT POLE	2.0	EA	\$8,000.00	\$16,000.00
47	SP-48	4" CONCRETE SIDEWALK	27.0	SY	\$85.00	\$2,295.00
48	SP-48	STONE RIPRAP GROUTED (18") WITH TOE WALL	89.0	CY	\$320.00	\$28,480.00
49	SP-48	STONE RIPRAP GROUTED (24") WITH TOE WALL	223.0	CY	\$320.00	\$71,360.00
50	SP-48	BARBED WIRE FENCE REMOVAL	6,850.0	LF	\$1.50	\$10,275.00
						<b>\$3,513,769.50</b>

Reynolds Asphalt & Construction Company certifies that the Bid Item Number, Specification Item, Name of Pay Item, Estimated Quantity, Unit, Unit Price Bid, and Amount Bid shown on this electronic bid form for all of the bid items contained in this Bid Form are consistent with the Bid Form provided herein, and that its bid will be tabulated using these Unit Prices and no other information from this electronic bid form.

Reynolds Asphalt & Construction Company further acknowledges and agrees the Total Bid Amount shown will be read as its Total Bid and further agrees that the official Total Bid Amount will be determined by multiplying the Unit Prices shown in the electronic bid form by the respective estimated quantities shown in the Bid Form and then totaling all of the extended amounts.

Red Amulul Vice President

The undersigned bidder acknowledges receipt of the following Addenda: (If none is received, then write NONE across the blanks.)

Addendum No. 1 - Date Received 3/9/16

Addendum No. 2 - Date Received 3/10/16

Addendum No. 3 - Date Received \_\_\_\_\_

The undersigned bidder agrees to execute and file with the Owner a contract and bonds on the forms provided within ten (10) days after written notification of award of the contract to him/her and to begin the work to be performed under the contract within ten (10) days after written authorization to begin the work (Work Order) and to complete the work in full within 203 Calendar Days after the date specified in the "Notice to Proceed/Work Order".

Enclosed with this bid form is a certified check or cashier's check or bid bond payable to the Town of Cross Roads in the amount of five percent (5%) of the total bid, which is to become the property of the Town of Cross Roads, or the attached Bidder's Bond is to be forfeited in the event the contract and bond are not executed within the time set forth, as liquidated damages for delay and additional work caused thereby.

Respectfully Submitted,

Signed: Ned Tankersley

Company: Reynolds Asphalt & Construction Co.

Address: P.O. Box 370

Eubank, TX 76039

SEAL  
(If Bidder is a Corporation)

Telephone: 817-267-3131

Fax: 817-267-7022

Submitted by: Ned Tankersley

an individual  
a partnership  
a corporation

Doing Business As: \_\_\_\_\_



**MINUTES OF WORKSHOP AND REGULAR TOWN COUNCIL  
MEETING FOR THE TOWN OF CROSS ROADS  
LOCATION: 1401 FM 424, CROSS ROADS, TEXAS  
Monday, February 15, 2016  
WORKSHOP SESSION – 6:00 P.M.  
REGULAR SESSION – 7:00 P.M.**

**WORKSHOP SESSION 6:00 P.M.**

Call to Order-7:03 p.m.

Discussion of agenda items posted for consideration on the Regular Session Agenda for February 15, 2016.

**CONVENE INTO REGULAR SESSION – ESTIMATED START TIME 7:00 P.M.**

1. Roll Call Alan Hauf, Tony Russo, Steve Smith Larry Fisher, Bruce Birdsong; present. Absent David Meek
2. Mayor's Announcements and Updates- General discussion
3. Council members' Announcements and Updates- General discussion
4. Citizens Input for Items **ON** the Agenda- No input  
*Complete a Citizens Input form, and hand it to the Town Secretary. Please limit your comments to three minutes in duration and you are restricted from passing your time or any portion of unused minutes on to another citizen for comment.*
5. Citizen Input for items **NOT** on the Agenda- No input  
*Complete a Citizens Input form, and hand it to the Town Secretary. Please limit your comments to three minutes in duration and you are restricted from passing your time or any portion of unused minutes on to another citizen for comment. Action on your statement may only be taken at a future meeting.*

**CONVENE INTO REGULAR SESSION**

6. Resolution of appreciation for former Mayor Harv Kitchens- Council Members shared their memories of Harv and thanked the Kitchen's family for being in attendance. Motion made by Tony Russo, seconded by Bruce Birdsong. Motion carried
7. Consider and take appropriate action regarding Valero Replat Application 2016-0104-02RP- Motion made by Larry Fisher, Seconded by Alan Hauf. Motion carried

8. Consider and take appropriate action regarding Mustang SUD Final Plat Application 2015-1214-03FP- Motion made by Bruce Birdsong seconded by Larry Fisher. Motion carried
9. Consider and take appropriate action regarding Chick Fil A Final Plat Application 2015-0104-03FP-Motion made by Alan Hauf, seconded by Larry Fisher. Motion carried
10. Consider and take appropriate action regarding Popeye's Building Application 2016-0201-02C- Alan Hauf made a motion to table to Special Council Meeting, seconded by Larry Fisher. Motion carried.
11. Consider and take appropriate action regarding Laguna Madre Preliminary Plat Application 2015-1208-02PP Bruce Birdsong made a motion to approve contingent on appropriate set back issue being resolved on the Final Plat, seconded Larry Fisher. Motion carried.
12. Consider and take appropriate action regarding a minor amendment to the Wal Mart Fuel Planned Development concerning outdoor sales 2016-0129-01Minor- Larry Fisher made a motion to draft an ordinance amending the planned development to allow outdoor sales at WalMart fuel only, Seconded by Bruce Birdsong. Motion carried
13. Consider and take appropriate action to authorize Mayor to sign contract agreement between William C. Spore and the Town of Cross Roads for Audit and Financial Services for the 2016 fiscal year- Bruce Birdsong made a motion to approve, seconded by Larry Fisher. Motion carried
14. Consider and take appropriate action regarding ordering a municipal election for May 7, 2016, to elect two (2) council members and a Mayor for a two (2) year term, and authorizing the Mayor to sign the "Order of Election". Tony made a motion to approve, seconded by Bruce Birdsong. Motion carried
15. Consider and take appropriate action to authorize Mayor to sign the Denton County Joint Election Agreement and Contract for Election Services- Larry Fisher made a motion to approve, Bruce Birdsong seconded. Motion carried
16. Consider and take appropriate action to adopt an Official Town Map and Consolidation of Boundaries- Alan Hauf made a motion to approve, seconded by Tony Russo. Motion carried.
17. Consider and take appropriate action regarding the amended Interlocal Agreement with Denton County for Naylor Road- Tony Russo made a motion to approve, seconded by Larry Fisher. Motion carried

18. Consider and take appropriate action to direct staff to issue a Request for Proposal regarding Naylor Road construction- Alan Hauf made a motion to approve, seconded by Bruce Birdsong. Motion carried
19. Consider and take appropriate action regarding Tree Removal Application 2016-0121-01TR- Alan Hauf made a motion to approve, seconded by Larry Fisher. Motion carried
20. Consider and take appropriate action regarding Tree Removal for Naylor Road Right of Way Expansion- Bruce Birdsong made a motion to approve, seconded by Alan Hauf. Motion carried
21. Consider and take appropriate action to amend the Sign and Tree Ordinance- Motion made by Bruce Birdsong to table sign ordinance and approve tree ordinance, seconded by Alan Hauf. Motion carried

### **Consent Agenda**

*The following may be acted upon in one motion, a Town Council Member or a citizen may request items be removed from the Consent Agenda for individual consideration*

22. Consider and take appropriate action regarding Northeast Municipal Court First Quarter Financials
  23. Consider and take appropriate action regarding Northeast Police Department First Quarter Statistics
  24. Consider and take appropriate action regarding the December 21, 2015 regular session Town Council Meeting Minutes
  25. Consider and take appropriate action regarding the January 18, 2016 regular session Town Council Minutes
  26. Consider and take appropriate action regarding the January Financial Report
- Motion made by Larry Fisher to approve consent agenda items, seconded by Bruce Birdsong. Motion carried

End of consent agenda

27. Consider and take appropriate action regarding auction for mineral rights under Lewisville Lake- Larry made a motion to direct staff to draft a letter opposing, seconded by Alan Hauf. Motion carried
28. Consider and take appropriate action to authorize Mayor the ability to enter into land acquisition negotiations- Bruce Birdsong made a motion to authorize, seconded by Larry Fisher. Motion carried

Adjourn 7:40 p.m.

**Future meetings and events:**

*All scheduled meetings are held in the Council Chambers. All citizens are invited to participate; schedule may change.*

- *Planning & Zoning Commission Meeting – Tuesday, March 1, 2016 at 7:00 p.m.*
- *Administrative Staff Meeting – Monday, March 7, 2016 at 3:00 p.m.*
- *Park Board Committee Meeting – Tuesday, March 8, 2016 at 7:00 p.m.*
- *Municipal Development District Meeting – Thursday, March 10, 2016 at 7:00 p.m.*
- *Architectural Review Commission Meeting– Thursday, March 10, 2016 at 7:00p.m*
- *Town Council Meeting – Monday, March 21, 2016 at 7:00 p.m.*

**CERTIFICATION**

I, the undersigned authority, do hereby certify that this Public Meeting Notice was posted on the official bulletin board at the Town Hall of the Town of Cross Roads, Texas on Friday, February 12, 2016 by 5:30 p.m., in accordance with Chapter 551, Texas Government Code.

As authorized by Section 551.071 of the Texas Government Code, this meeting may be convened into closed executive session for seeking confidential legal advice from the Town Attorney on any agenda item listed herein.

This facility is wheelchair accessible and accessible parking spaces are available. For requests, please contact Town Hall at 940-365-9693. Reasonable accommodations will be made to assist your needs.

\_\_\_\_\_  
 Teddi Lee  
 Town Secretary

I certify that the attached notice and agenda of items to be considered by the Town Council of the Town of Cross Roads was removed by me from the front window of the Town of Cross Roads Town Hall, 1401 FM 424, Cross Roads, Texas, on the \_\_\_\_\_ day of \_\_\_\_\_, 2016

\_\_\_\_\_, Title: \_\_\_\_\_

## Assets

Product/Nickname	Owner	Available Balance
NEPD	Town Of Crossroads	<u>238,608.73</u>
General Fund	Town Of Crossroads	<u>543,183.22</u>
Public Safety	Town Of Crossroads	<u>250,368.72</u>
Roads Fund .25%	Town Of Crossroads	<u>184,105.93</u>
Forrest Hills R	Town Of Crossroads	<u>90,232.51</u>
MDD .25%	Town Of Crossroads	<u>318,811.95</u>
NEPD Seizure	Town Of Crossroads	<u>3,131.27</u>
Legal Fund	Town Of Crossroads	<u>250,344.27</u>
		<b>1,878,786.60</b>

TOWN OF CROSS ROADS  
 Budget vs. Actuals: FY 2016 - FY16 P&L  
 October 2015 - February 2016

	Oct 2015		Nov 2015		Dec 2015		Jan 2016		Feb 2016		Total	
	Actual	Budget										
<b>Income</b>												
<b>3005 TAX REVENUES</b>											\$0.00	\$0.00
3010 SALES TAX COLLECTIONS	101,692.71	90,000.00	106,127.70	100,000.00	101,457.28	95,000.00	124,301.16	100,000.00	165,652.61	135,000.00	\$599,231.46	\$520,000.00
3012 ROAD IMPROV. SALES TAX	16,948.78	12,500.00	17,687.95	12,500.00	16,909.55	17,500.00		17,500.00		18,500.00	\$51,546.28	\$78,500.00
3015 BEVERAGE TAX COLLECTIONS	3,187.59	2,625.00		0.00		0.00	2,836.91	2,625.00		0.00	\$6,024.50	\$5,250.00
3020 FRANCHISE TAX-S.W. BELL/AT&T		0.00	3,066.13	0.00		3,062.00		0.00	3,605.99	0.00	\$6,672.12	\$3,062.00
3021 FRANCHISE TAX-PROGRESSIVE	3,250.34	0.00		0.00		3,437.00	3,662.00	0.00		0.00	\$6,912.34	\$3,437.00
3022 FRANCHISE TAX-COSERV ELECTRIC		0.00		0.00		15,561.00	64,561.14	0.00		0.00	\$64,561.14	\$15,561.00
3024 FRANCHISE TAX-COSERV GAS		0.00		0.00		1,186.00		0.00		0.00	\$0.00	\$1,186.00
3025 FRANCHISE TAX-ATMOS/ONCOR/TXU		0.00		0.00		2,125.00		0.00		0.00	\$0.00	\$2,125.00
3026 FRANCHISE TAX-TEX/N.M. POWER		0.00	81.05	0.00		68.00		0.00	51.29	0.00	\$132.34	\$68.00
3027 FRANCHISE TAX-MUSTANG SUD		0.00	3,115.73	0.00		1,586.00		0.00		0.00	\$3,115.73	\$1,586.00
3028 FRANCHISE TAX-SAGE TELECOM	3.72	0.00		0.00		3.00		0.00		0.00	\$3.72	\$3.00
3029 FRANCHISE TAX-OTHER	24.29	0.00	151.71	0.00		132.00	28.00	0.00	208.34	0.00	\$412.34	\$132.00
<b>Total 3005 TAX REVENUES</b>	<b>125,107.43</b>	<b>105,125.00</b>	<b>130,230.27</b>	<b>112,500.00</b>	<b>118,366.83</b>	<b>139,660.00</b>	<b>195,389.21</b>	<b>120,125.00</b>	<b>169,518.23</b>	<b>153,500.00</b>	<b>\$738,611.97</b>	<b>\$630,910.00</b>
3048 MDD TRANSFER		0.00		0.00		0.00		0.00		0.00	\$0.00	\$0.00
<b>3100 FEES &amp; PERMIT REVENUES</b>											\$0.00	\$0.00
3120 DEVELOPMENT/SUB. PERMITS FEES	200.00	0.00	940.00	0.00	390.00	2,500.00	130.00	0.00	530.00	0.00	\$2,190.00	\$2,500.00
3130 RES.BUILDING PERMITS FEES		7,087.00		7,083.00	1,244.00	7,083.00	2,231.00	7,083.00	2,521.00	7,083.00	\$5,996.00	\$35,419.00
3135 COM. BUILDING PERMIT FEES		2,917.00	1,100.00	2,913.00	4,417.46	2,917.00	15,189.75	2,917.00	350.00	2,917.00	\$21,057.21	\$14,581.00
3140 RES. SEPTIC PERMITS FEES	425.00	292.00		288.00		292.00		292.00		292.00	\$425.00	\$1,456.00
3141 COM. SEPTIC PERMIT FEES	950.00				425.00		1,325.00		1,275.00		\$3,975.00	\$0.00
3145 HEALTH PERMIT INSPECTIONS FEES		458.00	240.00	458.00		462.00	1,305.00	458.00	2,750.00	458.00	\$4,295.00	\$2,294.00
3150 SIGNS PERMIT FEES	940.00	313.00	480.00	313.00	155.00	307.00	170.00	313.00		313.00	\$1,745.00	\$1,559.00
3160 RES. BUILDING REVIEW INSP. FEES	250.00	2,292.00	926.00	2,292.00	2,318.00	2,288.00	1,780.00	2,292.00	2,394.00	2,292.00	\$7,668.00	\$11,456.00
3165 COM. BUILDING REVIEW INSP. FEES		2,083.00	1,462.45	2,083.00	2,111.10	2,087.00	14,935.17	2,083.00	2,035.40	2,083.00	\$20,544.12	\$10,419.00
<b>Total 3100 FEES &amp; PERMIT REVENUES</b>	<b>2,765.00</b>	<b>15,442.00</b>	<b>5,148.45</b>	<b>15,430.00</b>	<b>11,060.56</b>	<b>17,936.00</b>	<b>37,065.92</b>	<b>15,438.00</b>	<b>11,855.40</b>	<b>15,438.00</b>	<b>\$67,895.33</b>	<b>\$79,684.00</b>
<b>3690 OTHER REVENUES</b>											\$0.00	\$0.00
<b>3700 MISCELLANEOUS</b>											\$0.00	\$0.00
3705 CONTRACTOR REGISTRATION	100.00	354.00	200.00	354.00	400.00	356.00	150.00	354.00	250.00	354.00	\$1,100.00	\$1,772.00
3740 ADMINISTRATIVE FEE		208.00	50.00	208.00	130.13	212.00	400.00	208.00	150.00	208.00	\$730.13	\$1,044.00
<b>Total 3700 MISCELLANEOUS</b>	<b>100.00</b>	<b>562.00</b>	<b>250.00</b>	<b>562.00</b>	<b>530.13</b>	<b>568.00</b>	<b>550.00</b>	<b>562.00</b>	<b>400.00</b>	<b>562.00</b>	<b>\$1,830.13</b>	<b>\$2,816.00</b>
3800 INTEREST INCOME	463.10	292.00	424.24	292.00	483.41	288.00	162.36	292.00	292.00	292.00	\$1,533.11	\$1,456.00
3810 INTEREST INCOME-ROADS	37.82	29.00	44.88	29.00		31.00		29.00		29.00	\$82.70	\$147.00
<b>Total 3690 OTHER REVENUES</b>	<b>600.92</b>	<b>883.00</b>	<b>719.12</b>	<b>883.00</b>	<b>1,013.54</b>	<b>887.00</b>	<b>712.36</b>	<b>883.00</b>	<b>400.00</b>	<b>883.00</b>	<b>\$3,445.94</b>	<b>\$4,419.00</b>
3746 COUNTY ROAD CONTRIBUTIONS		0.00		0.00		0.00		0.00		300,000.00	\$0.00	\$300,000.00
PayPal Income							435.00		1,861.55		\$2,296.55	\$0.00
Sales									3,000.00		\$3,000.00	\$0.00
<b>Total Income</b>	<b>\$128,473.35</b>	<b>\$121,450.00</b>	<b>\$136,097.84</b>	<b>\$128,813.00</b>	<b>\$130,440.93</b>	<b>\$158,483.00</b>	<b>\$233,602.49</b>	<b>\$136,446.00</b>	<b>\$186,635.18</b>	<b>\$469,821.00</b>	<b>\$815,249.79</b>	<b>\$1,015,013.00</b>
<b>Gross Profit</b>	<b>\$128,473.35</b>	<b>\$121,450.00</b>	<b>\$136,097.84</b>	<b>\$128,813.00</b>	<b>\$130,440.93</b>	<b>\$158,483.00</b>	<b>\$233,602.49</b>	<b>\$136,446.00</b>	<b>\$186,635.18</b>	<b>\$469,821.00</b>	<b>\$815,249.79</b>	<b>\$1,015,013.00</b>
<b>Expenses</b>											\$0.00	\$0.00
<b>6000 ADMINISTRATIVE/GOVERNMENTAL</b>											\$0.00	\$0.00
6010 ACCOUNTING & AUDITING FEES		0.00		0.00		3,300.00		0.00		0.00	\$0.00	\$3,300.00
6050 ADVERTISING & PROMOTION		2,083.00	7,636.15	2,083.00	46.99	2,087.00	10.00	2,083.00	1,873.44	2,083.00	\$9,566.58	\$10,419.00
6060 ADVERTISING WEBSITE PROMOTION		417.00		413.00		417.00		417.00		417.00	\$0.00	\$2,081.00
6080 TOWN IMPROVEMENTS		1,667.00		1,667.00		1,663.00	500.00	1,667.00		1,667.00	\$500.00	\$8,331.00
6100 CAPITAL ADDITIONS		1,667.00		1,667.00		1,663.00		1,667.00		1,667.00	\$0.00	\$8,331.00
6105 TECHNOLOGY	6,912.28	1,250.00	223.75	1,250.00		1,250.00		1,250.00		1,250.00	\$7,136.03	\$6,250.00
5005 Internet		208.00	344.90	208.00	154.90	212.00	154.90	208.00	154.90	208.00	\$809.60	\$1,044.00
5006 Fire Insp Software & Maint		600.00		0.00		0.00		0.00		0.00	\$0.00	\$600.00
5007 Permitting Software & Maint	2,575.00	2,500.00		0.00		0.00		0.00		0.00	\$2,575.00	\$2,500.00
5008 Agenda Software & Maint	269.56	3,000.00		0.00	16.23	0.00	16.23	0.00		0.00	\$302.02	\$3,000.00
5009 MCCi Expenses		2,500.00		0.00		0.00	1,000.00	0.00		0.00	\$1,000.00	\$2,500.00
<b>Total 6105 TECHNOLOGY</b>	<b>9,756.84</b>	<b>10,058.00</b>	<b>568.65</b>	<b>1,458.00</b>	<b>171.13</b>	<b>1,462.00</b>	<b>1,171.13</b>	<b>1,458.00</b>	<b>154.90</b>	<b>1,458.00</b>	<b>\$11,822.65</b>	<b>\$15,894.00</b>
6115 COMMUNICATION		125.00		125.00		125.00		125.00		125.00	\$0.00	\$625.00
6120 RES. BUILDING REVIEW & INSP.		2,500.00	3,431.58	2,500.00		2,500.00	3,282.79	2,500.00		2,500.00	\$6,714.37	\$12,500.00
6125 COM. BUILDING REVIEW & INSP.		1,667.00	3,673.70	1,663.00	3,700.00	1,667.00	4,398.15	1,667.00	3,100.00	1,667.00	\$14,871.85	\$8,331.00
6130 CODIFICATION SERVICES		0.00		0.00		1,166.00		0.00		0.00	\$0.00	\$1,166.00
6180 ELECTION COSTS		0.00		1,500.00		0.00		0.00		0.00	\$0.00	\$1,500.00
6200 ENGINEERING SERVICES		4,167.00		4,167.00	9,153.81	4,163.00		4,167.00	6,700.00	4,167.00	\$15,853.81	\$20,831.00
6205 COMPREHENSIVE PLANNING STUDY		0.00		0.00		0.00		0.00		0.00	\$0.00	\$0.00
6220 INSURANCE	4,687.90	6,000.00		0.00		0.00	-95.00	0.00		0.00	\$4,592.90	\$6,000.00
6240 POLICE DEPARTMENT SERVICES	37,040.52	37,041.00		37,040.00	37,040.43	37,040.00	37,040.43	37,044.00	37,040.43	37,040.00	\$148,161.81	\$185,205.00
6250 INTERLOCAL-AMBULANCE	15,000.00	15,000.00		0.00		0.00		0.00		0.00	\$15,000.00	\$15,000.00
6260 INTERLOCAL-FIRE	25,000.00	25,000.00		0.00		0.00	25,000.00	25,000.00		0.00	\$50,000.00	\$50,000.00
6270 CITY OF AUBREY LIBRARY FUND	13,500.00	13,500.00		0.00	170.00	0.00		0.00		0.00	\$13,670.00	\$13,500.00
6280 LEGAL FEES		837.00	4,390.89	833.00		833.00		833.00		833.00	\$4,390.89	\$4,169.00
6281 Legal Contingency - 1			389.00				2,535.80		960.00		\$3,884.60	\$0.00
<b>Total 6280 LEGAL FEES</b>	<b>0.00</b>	<b>837.00</b>	<b>4,779.89</b>	<b>833.00</b>	<b>0.00</b>	<b>833.00</b>	<b>2,535.80</b>	<b>833.00</b>	<b>960.00</b>	<b>833.00</b>	<b>\$8,275.49</b>	<b>\$4,169.00</b>
6310 MEETING EXPENSES		125.00		125.00		125.00	96.68	125.00		125.00	\$96.68	\$625.00
6340 MUNISERVICES	807.01	0.00		0.00		1,375.00	807.01	0.00		0.00	\$1,614.02	\$1,375.00
6350 OFFICE EXPENSES	825.00	833.00	1,750.86	833.00	1,177.21	837.00	1,262.74	833.00	1,923.29	833.00	\$6,939.10	\$4,169.00
6360 OTHER PROFESSIONAL SERVICES		125.00		125.00		125.00		125.00		125.00	\$0.00	\$625.00
6365 CAREFLITE SERVICES		0.00		0.00		0.00		0.00	2,099.00	0.00	\$2,099.00	\$0.00
6370 SANITARIAN SERVICES		833.00	800.00	833.00		837.00	3,055.00	833.00	1,260.00	833.00	\$5,115.00	\$4,169.00
6375 CODE ENFORCEMENTSERVICES		292.00	210.00	292.00	245.00	288.00		292.00		292.00	\$455.00	\$1,456.00
6380 PUBLIC NOTICES / DUES		208.00	230.29	208.00	253.14	212.00		235.13	208.00	208.00	\$718.56	\$1,044.00
6400 REPAIR & MAINTENANCE		1,250.00	443.00	1,250.00		1,250.00		1,250.00	89.00	1,250.00	\$532.00	\$6,250.00
6410 PARK MAINTENANCE	200.00	292.00	182.9									

6799 ANIMAL CONTROL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	\$7,333.00	\$7,103.00
6796 STANDRIDGE 212 AGREEMENT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00	\$12,500.00
6840 WAGES-TOWN ADMINISTRATOR	5,981.54	6,790.00	7,476.92	6,790.00	8,972.31	6,790.00	6,790.00	6,790.00	6,790.00	6,790.00	\$22,430.77	\$33,950.00
6841 WAGES-TOWN SECRETARY	3,942.31	4,900.00	5,048.07	4,900.00	6,057.69	4,900.00	4,900.00	4,900.00	4,900.00	4,900.00	\$15,048.07	\$24,500.00
6850 WAGES- EXEC ADMIN OFR	4,615.38	5,350.00	5,769.22	5,350.00	6,923.07	5,350.00	5,350.00	5,350.00	5,350.00	5,350.00	\$17,307.67	\$26,750.00
6910 PYPAL CHARGE	32.63	208.00	33.08	208.00	212.78	212.00	15.53	208.00	62.72	208.00	\$356.74	\$1,044.00
<b>Total 6000 ADMINISTRATIVE/GOVERNMENTAL</b>	<b>161,013.05</b>	<b>177,892.00</b>	<b>60,684.83</b>	<b>106,029.00</b>	<b>214,328.33</b>	<b>110,398.00</b>	<b>114,311.27</b>	<b>142,291.00</b>	<b>69,273.33</b>	<b>105,787.00</b>	<b>\$619,610.81</b>	<b>\$642,397.00</b>
6540 Reserved Fishtrap Road Repairs		20,833.00		20,833.00		20,833.00		20,837.00		20,833.00	\$0.00	\$104,169.00
6760 Vehicle Maintenance		208.00		208.00		208.00		212.00	14.00	208.00	\$14.00	\$1,044.00
6797 LOVETT 380 AGREEMENT		8,333.00		8,333.00		8,333.00		8,337.00		8,333.00	\$0.00	\$41,669.00
Payroll Expenses											\$0.00	\$0.00
Company Contributions											\$0.00	\$0.00
Retirement							1,138.80		1,138.80		\$2,277.60	\$0.00
<b>Total Company Contributions</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>1,138.80</b>	<b>0.00</b>	<b>1,138.80</b>	<b>0.00</b>	<b>\$2,277.60</b>	<b>\$0.00</b>
Taxes							1,546.18		1,448.99		\$2,995.17	\$0.00
Wages							15,729.24		15,729.24		\$31,458.48	\$0.00
<b>Total Payroll Expenses</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>18,414.22</b>	<b>0.00</b>	<b>18,317.03</b>	<b>0.00</b>	<b>\$36,731.25</b>	<b>\$0.00</b>
Unapplied Cash Bill Payment Expense			37,040.43								\$37,040.43	\$0.00
<b>Total Expenses</b>	<b>\$161,013.05</b>	<b>\$207,266.00</b>	<b>\$97,725.26</b>	<b>\$135,403.00</b>	<b>\$214,328.33</b>	<b>\$139,772.00</b>	<b>\$132,725.49</b>	<b>\$171,677.00</b>	<b>\$87,604.36</b>	<b>\$135,161.00</b>	<b>\$693,396.49</b>	<b>\$789,279.00</b>
<b>Net Operating Income</b>	<b>\$ -32,539.70</b>	<b>\$ -85,816.00</b>	<b>\$38,372.58</b>	<b>\$ -6,590.00</b>	<b>\$ -83,887.40</b>	<b>\$18,711.00</b>	<b>\$100,877.00</b>	<b>\$ -35,231.00</b>	<b>\$99,030.82</b>	<b>\$334,660.00</b>	<b>\$121,853.30</b>	<b>\$225,734.00</b>
<b>Net Income</b>	<b>\$ -32,539.70</b>	<b>\$ -85,816.00</b>	<b>\$38,372.58</b>	<b>\$ -6,590.00</b>	<b>\$ -83,887.40</b>	<b>\$18,711.00</b>	<b>\$100,877.00</b>	<b>\$ -35,231.00</b>	<b>\$99,030.82</b>	<b>\$334,660.00</b>	<b>\$121,853.30</b>	<b>\$225,734.00</b>

Friday, Mar 18, 2016 04:58:05 PM PDT GMT-5 - Cash Basis

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TOWN OF CROSS ROADS  
Profit and Loss  
February 2016

	<b>Total</b>
<b>Income</b>	
<b>3005 TAX REVENUES</b>	
3010 SALES TAX COLLECTIONS	165,652.61
3020 FRANCHISE TAX-S.W. BELL/AT&T	3,605.99
3026 FRANCHISE TAX-TEX/N.M. POWER	51.29
3029 FRANCHISE TAX-OTHER	208.34
<b>Total 3005 TAX REVENUES</b>	<b>169,518.23</b>
<b>3100 FEES &amp; PERMIT REVENUES</b>	
3120 DEVELOPMENT/SUB. PERMITS FEES	530.00
3130 RES.BUILDING PERMITS FEES	2,521.00
3135 COM. BUILDING PERMIT FEES	350.00
3141 COM. SEPTIC PERMIT FEES	1,275.00
3145 HEALTH PERMIT INSPECTIONS FEES	2,750.00
3160 RES. BUILDING REVIEW INSP. FEES	2,394.00
3165 COM. BUILDING REVIEW INSP. FEES	2,035.40
<b>Total 3100 FEES &amp; PERMIT REVENUES</b>	<b>11,855.40</b>
<b>3690 OTHER REVENUES</b>	
<b>3700 MISCELLANEOUS</b>	
3705 CONTRACTOR REGISTRATION	250.00
3740 ADMINISTRATIVE FEE	150.00
<b>Total 3700 MISCELLANEOUS</b>	<b>400.00</b>
<b>Total 3690 OTHER REVENUES</b>	<b>400.00</b>
PayPal Income	1,861.55
Sales	3,000.00
<b>Total Income</b>	<b>\$186,635.18</b>
<b>Gross Profit</b>	<b>\$186,635.18</b>
<b>Expenses</b>	
<b>6000 ADMINISTRATIVE/GOVERNMENTAL</b>	
6050 ADVERTISING & PROMOTION	1,873.44
6105 TECHNOLOGY	
5005 Internet	154.90
<b>Total 6105 TECHNOLOGY</b>	<b>154.90</b>
6125 COM. BUILDING REVIEW & INSP.	3,100.00
6200 ENGINEERING SERVICES	6,700.00
6240 POLICE DEPARTMENT SERVICES	37,040.43
6280 LEGAL FEES	
6281 Legal Contingency - 1	960.00
<b>Total 6280 LEGAL FEES</b>	<b>960.00</b>
6350 OFFICE EXPENSES	1,923.29
6365 CAREFLITE SERVICES	2,099.00
6370 SANITARIAN SERVICES	1,260.00
6380 PUBLIC NOTICES / DUES	235.13

<b>6400 REPAIR &amp; MAINTENANCE</b>	89.00
6412 Park Events	130.00
<b>6525 STREET &amp; WAY REP/CLEANUP</b>	1,778.94
<b>6530 STREET CONTRACT / REPAIRS</b>	9,710.00
<b>6605 EMPLOYEE HEALTH BENEFITS</b>	1,591.33
<b>6630 TRAVEL EXPENSES</b>	71.02
<b>6750 UTILITIES</b>	494.13
<b>6910 PAYPAL CHARGE</b>	62.72
<b>Total 6000 ADMINISTRATIVE/GOVERNMENTAL</b>	<b>69,273.33</b>
<b>6760 Vehicle Maintenance</b>	14.00
<b>Payroll Expenses</b>	
<b>Company Contributions</b>	
Retirement	1,138.80
<b>Total Company Contributions</b>	<b>1,138.80</b>
Taxes	1,448.99
Wages	15,729.24
<b>Total Payroll Expenses</b>	<b>18,317.03</b>
<b>Total Expenses</b>	<b>\$87,604.36</b>
<b>Net Operating Income</b>	<b>\$99,030.82</b>
<b>Net Income</b>	<b>\$99,030.82</b>

This report was created using QuickBooks Online Plus.

TOWN OF CROSS ROADS  
Deposit Detail  
February 2016

Date	Transaction Type	Num	Client	Vendor	Memo/Description	Clr	Amount
<b>1010 CASH-OPERATING</b>							
02/05/2016	Deposit						10,630.06
			Level 3 Communications		ROW Qtr Dec 2015		49.68
				Southwestern Bell	Franchise Fees		2,260.38
		1001	Village Veterinary Center		Sign Permit for Village Vet Clinic		-85.00
		5021	Dozier Real Estate, LLC		Preliminary Plat for 4294 Hwy. 377		-1,000.00
		5022	Dozier Real Estate, LLC		Pre-Plat 4294 Hwy. 377		-210.00
		3561	Pops Holdings LP		Pop Holdings LP - Add Easements		-160.00
		3562	Pops Holdings LP		Re-Plat to add easements		-1,000.00
		1022	Pegasus Investments LLC		Certificate of Occupancy Inspection Fee for Oak Grove Retail		-200.00
		4352	Tracey Cade		Building Permit for 151 E. Oak Shores		-2,255.00
		1017	Greenview Solutions		Contractors Registration Fee		-50.00
		2358	Glenn Floyd		Replat Fees and Pro Services Deposit		-1,160.00
		1142	Baker's Dozen		Paid invoice 1022		-275.00
		014811	Deli Quick		Health Inspection Paid		-275.00
		1254	Subway		Health Inspection 2014 & 2015		-550.00
		6706	Sonic		Health Inspection		-275.00
		5711	Villa Grande		Health Inspection		-275.00
		000017940	Taco Bell		Health Inspection 2014 & 2015		-550.00
02/05/2016	Deposit		Fuzzy's Taco Shop				275.00
		1557	Fuzzy's Taco Shop		Health Inspection		-275.00
02/05/2016	Deposit			Texas New Mexico Power	Franchise Fees		51.29
		050523		Texas New Mexico Power	Franchise Fees		51.29
02/22/2016	Deposit						6,373.67
		7739293		Birch Communications	Birch Communication Right of Way Fee		68.60
		970141		Granite Telecommunications	Granite Telecommunications Quarter 4		88.20
		6000149701		Verizon	Verizon		1.86
		1447219		Southwestern Bell	SW Bell Right of Way		1,236.41
		1446116		At&T Communication of Texas	AT&T Right of way		109.20
		017585	LDKC Inc dba L D Kerns Contractors		Building Permit for Sports Clips		-762.40
		1369	Pedro McCracken Design Group Inc.		Demo Permit for Valero / 7500 Hwy. 377		-190.00
		3285	T&L Septic Services, LLC		Septic Permit Fee for 1445 Stone Trail		-425.00
		17491	Fire-Star Alarm & Communications, Inc.		Fire Alarm Permit for 11751 US Hwy. 380 / Craigs Collision		-350.00

		50292	Key Custom Homes		Plan Review for 1445 Stone Trail	-288.00
		102	Behrooz Assadi		Building Permit for 11 E. Oak Bluff Drive	-2,854.00
02/22/2016	Deposit		Prairie House			275.00
		20636	Prairie House		Health Inspection	-275.00
02/22/2016	Deposit		Airtron			50.00
		62022631	Airtron		Contract Registration Fee	-50.00
02/22/2016	Deposit			Texas Comptroller	City Sales Tax and Use Tax Allocation	165,652.61
				Texas Comptroller		165,652.61
<b>PayPal Bank</b>						
02/01/2016	Sales Receipt	6KJ01210R6224431T	noreply@here.paypal.com		Money Received (Reference: PayPal Transaction # 6KJ01210R6224431T)	863.00
			noreply@here.paypal.com		Amount	863.00
02/03/2016	Sales Receipt	609345895E470791M	noreply@here.paypal.com		Money Received (Reference: PayPal Transaction # 609345895E470791M)	418.00
			noreply@here.paypal.com		Amount	418.00
02/05/2016	Sales Receipt	1FJ11670LW284202M	noreply@here.paypal.com		Money Received (Reference: PayPal Transaction # 1FJ11670LW284202M)	50.00
			noreply@here.paypal.com		Amount	50.00
02/08/2016	Sales Receipt	9TJ76445SN958850D	noreply@here.paypal.com		Money Received (Reference: PayPal Transaction # 9TJ76445SN958850D)	50.00
			noreply@here.paypal.com		Amount	50.00
02/17/2016	Sales Receipt	18P08730BE089171J	noreply@here.paypal.com		Money Received (Reference: PayPal Transaction # 18P08730BE089171J)	310.55
			noreply@here.paypal.com		Amount	310.55
02/26/2016	Sales Receipt	50K90244GE474080N	noreply@here.paypal.com		Money Received (Reference: PayPal Transaction # 50K90244GE474080N)	50.00
			noreply@here.paypal.com		Amount	50.00
02/29/2016	Sales Receipt	7UF9367698869941C	noreply@here.paypal.com		Money Received (Reference: PayPal Transaction # 7UF9367698869941C)	120.00
			noreply@here.paypal.com		Amount	120.00

TOWN OF CROSS ROADS  
Check Detail

Date	Transaction Type	Num	Name	Memo/Description	Clr	Amount
<b>1010 CASH-OPERATING</b>						
02/01/2016	Expense		North East Police Department	ILA POLICE SERVICES		-37,040.43
				ILA Police Services		37,040.43
02/01/2016	Check	8520	CareFlite	Careflite Membership 2016		-1,800.00
				2016CY Careflite Membership		1,800.00
02/03/2016	Tax Payment		IRS	Tax Payment for Period: 01/27/2016- 01/29/2016 941 Federal Taxes		-2,363.61
				Federal Taxes (941/944)		-2,363.61
02/04/2016	Check	8521	Xerox	12-28-2015-01-22- 2016		-241.17
				Xerox metered copies		241.17
02/04/2016	Check	8522	Mustang SUD	1-1-2016-1-31-2016 Water City Hall		-59.19
				1-1-2016-1-31-2016 Water City Hall		23.33
				City Park		35.86
02/04/2016	Check	8524	Billy Joe Lerma	Voided		0.00
				Clean Town Hall offices		0.00
				Pottershop asphalt, cut trees on Pottershop, Dump fees		0.00
02/04/2016	Check	8525	WEX	Town Card Fuel		-71.02
				Truck Fuel		71.02
02/04/2016	Check	8523	Pinkston Wastewater	Voided		0.00
				1 year continuing maintenance agreement ww		0.00

				treatment system	
02/04/2016	Check	8526	Billy Joe Lerma		-1,160.00
				Clean Town Hall offices	350.00
				Pottershop asphalt, cut trees on Pottershop, Dump fees	810.00
02/11/2016	Payroll Check	DD	Rebecca Ross	Pay Period: 01/30/2016-02/12/2016	-2,130.40
				Direct Deposit	-2,130.40
02/11/2016	Payroll Check	DD	Ms. Susan D Zambrano	Pay Period: 01/30/2016-02/12/2016	-1,833.02
				Direct Deposit	-1,833.02
02/11/2016	Payroll Check	DD	Teddi L Lee	Pay Period: 01/30/2016-02/12/2016	-1,588.68
				Direct Deposit	-1,588.68
02/11/2016	Check	8527	Signs by Design	January Newsletter	-1,813.44
				January Newsletter	1,813.44
02/11/2016	Check	8528	All American Dog	Animal Control	-1,000.00
				Animal Control	1,000.00
02/11/2016	Check	8529	CareFlite	Careflite Membership 2016	-299.00
				New Enrollees	299.00
02/11/2016	Check	8530		Town Map	0.00
				Town Map	
02/16/2016	Check	8530	JPMorgan Chase Bank NA		-1,423.76
				Car wash	14.00
				office supplies, calendar wiz	682.12
				birch communication	198.80

				speed of light	154.90
				Bingo Prizes	130.00
				Chains, Blades, Ice, gatorade	183.94
				Aubrey Chamber	60.00
02/16/2016	Check	8531	Baseline	Town Limit Map	-6,700.00
				Town Limit Map	6,700.00
02/16/2016	Check	8532	A Smart Pest Control	Pest Control	-89.00
				Pest Control	89.00
02/16/2016	Check	8533	Nichols, Jackson, Dillard, Hager & Smith		-960.00
				January Invoice	960.00
02/16/2016	Check	8534	CoServ	Walmart light 424 & 2402FM 424	-26.14
				HWY 424 Walmart Light	13.07
				HWY 380 Walmart Light	13.07
02/18/2016	Tax Payment		IRS	Tax Payment for Period: 02/10/2016- 02/12/2016 Federal Taxes 941/944	-2,363.65
				Federal Taxes (941/944)	-2,363.65
02/18/2016	Check	8535	Bailey Inspections	January Inspections and Review	-1,260.00
				January Inspections/Reviews	1,260.00
02/18/2016	Check	8536	Kimley Horn	Naylor Road Improvements/ Invoice - through January 31, 2016	-9,710.00
				Naylor Road Improvements/ Invoice - through January 31, 2016	9,710.00

02/18/2016	Check	8537	Texas Municipal Retirement System	City #00321	-2,543.04
				EMPLOYEE TMRS	-1,106.06
				EMPLOYER TMRS	-1,436.98
02/18/2016	Check	8538	Humana	March Coverage	-18.15
				Vision for March Coverage	18.15
02/18/2016	Check	8539	Pilot Point Post Signal	PZ Public Notice/ Setbacks	-37.13
				PZ Public Notice/ Setbacks	37.13
02/18/2016	Check	8540	NTW Service Co	NTW Septic System Service Contract, Chlorine service	-210.00
				NTW Septic System Service Contract, Chlorine service	210.00
02/23/2016	Check	8541	Blue Cross Blue Shield	March Health Coverage	-1,573.18
				March Health Coverage	1,573.18
02/25/2016	Payroll Check	DD	Ms. Susan D Zambrano	Pay Period: 02/13/2016-02/26/2016	-1,833.02
				Direct Deposit	-1,833.02
02/25/2016	Payroll Check	DD	Rebecca Ross	Pay Period: 02/13/2016-02/26/2016	-2,130.41
				Direct Deposit	-2,130.41
02/25/2016	Payroll Check	DD	Teddi L Lee	Pay Period: 02/13/2016-02/26/2016	-1,588.70
				Direct Deposit	-1,588.70
02/26/2016	Check	8542	Pilot Point Post Signal	PZ Public Notice Bids for three weeks	-198.00
				Bids for Three weeks	198.00

02/26/2016	Check		8543	Brian Gilmore	February Invoice	-3,100.00
					February Invoice	3,100.00
02/26/2016	Check		8544	Billy Joe Lerma		-435.00
					Clean Town Hall offices, take out trash, stock supplies, take out cans	405.00
					clean ditches on milker, pottershop, check roads	30.00
<b>PayPal Bank</b>						
02/01/2016	Expense	6KJ01210R6224431T		PayPal	Fee for PayPal Transaction (Reference: PayPal Transaction # 6KJ01210R6224431T)	-30.36
					Fee for PayPal Transaction	30.36
02/03/2016	Expense	609345895E470791M		PayPal	Fee for PayPal Transaction (Reference: PayPal Transaction # 609345895E470791M)	-11.29
					Fee for PayPal Transaction	11.29
02/05/2016	Expense	1FJ11670LW284202M		PayPal	Fee for PayPal Transaction (Reference: PayPal Transaction # 1FJ11670LW284202M)	-1.90
					Fee for PayPal Transaction	1.90
02/08/2016	Expense	9TJ76445SN958850D		PayPal	Fee for PayPal Transaction (Reference: PayPal Transaction # 9TJ76445SN958850D)	-1.90
					Fee for PayPal Transaction	1.90
02/17/2016	Expense	18P08730BE089171J		PayPal	Fee for PayPal	-11.02

				Transaction (Reference: PayPal Transaction # 18P08730BE089171J)	
				Fee for PayPal Transaction	11.02
02/26/2016	Expense	50K90244GE474080N	PayPal	Fee for PayPal Transaction (Reference: PayPal Transaction # 50K90244GE474080N)	-1.90
				Fee for PayPal Transaction	1.90
02/29/2016	Expense	7UF9367698869941C	PayPal	Fee for PayPal Transaction (Reference: PayPal Transaction # 7UF9367698869941C)	-4.35
				Fee for PayPal Transaction	4.35

This report was created using QuickBooks Online Plus.

TOWN OF CROSS ROADS  
Check Detail  
February 2016

Date	Transaction Type	Num	Name	Memo/Description	Clr	Amount
<b>1010 CASH-OPERATING</b>						
02/11/2016	Payroll Check	DD	Rebecca Ross	Pay Period: 01/30/2016-02/12/2016		-2,130.40
				Direct Deposit		-2,130.40
02/11/2016	Payroll Check	DD	Ms. Susan D Zambrano	Pay Period: 01/30/2016-02/12/2016		-1,833.02
				Direct Deposit		-1,833.02
02/11/2016	Payroll Check	DD	Teddi L Lee	Pay Period: 01/30/2016-02/12/2016		-1,588.68
				Direct Deposit		-1,588.68
02/25/2016	Payroll Check	DD	Ms. Susan D Zambrano	Pay Period: 02/13/2016-02/26/2016		-1,833.02
				Direct Deposit		-1,833.02
02/25/2016	Payroll Check	DD	Rebecca Ross	Pay Period: 02/13/2016-02/26/2016		-2,130.41
				Direct Deposit		-2,130.41
02/25/2016	Payroll Check	DD	Teddi L Lee	Pay Period: 02/13/2016-02/26/2016		-1,588.70
				Direct Deposit		-1,588.70

Thursday, Mar 17, 2016 03:30:34 PM PDT GMT-5

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**MINUTES OF SPECIAL TOWN COUNCIL MEETING FOR THE  
TOWN OF CROSS ROADS  
LOCATION: 1401 FM 424, CROSS ROADS, TEXAS  
Monday, MARCH 7, 2016  
SPECIAL SESSION – 5:00 P.M.**

**SPECIAL SESSION 5:00 P.M.**

Call to Order-5:02 p.m.

1. Roll Call Alan Hauf, Tony Russo, Steve Smith, David Meek, Bruce Birdsong; all present
2. Citizens Input for Items **ON** the Agenda- No input  
*Complete a Citizens Input form, and hand it to the Town Secretary. Please limit your comments to three minutes in duration and you are restricted from passing your time or any portion of unused minutes on to another citizen for comment.*
3. Citizen Input for items **NOT** on the Agenda- No input  
*Complete a Citizens Input form, and hand it to the Town Secretary. Please limit your comments to three minutes in duration and you are restricted from passing your time or any portion of unused minutes on to another citizen for comment. Action on your statement may only be taken at a future meeting.*
4. Consider and take appropriate action regarding Chick-fil-A Building Application 2016-0104-01C-Bruce Birdsong made a motion to approve, seconded by Larry Fisher. Motion carried
5. Consider and take appropriate action regarding Valero Building Application 2016-0104-02-02C-David Meek made a motion to approve contingent on TxDOT approval, seconded by Alan Hauf. Motion carried
6. Consider and take appropriate action regarding Popeye's Building Application 2016-0201-02C- Alan Hauf made a motion to table, Tony Russo seconded. Motion carried.
7. Consider and take appropriate action regarding real estate- No action taken.

Adjourn 5:09 p.m.

**Future meetings and events:**

*All scheduled meetings are held in the Council Chambers. All citizens are invited to participate; schedule may change.*

- *Park Board Committee Meeting – Tuesday, March 8, 2016 at 7:00 p.m.*
- *Municipal Development Meeting – Thursday, March 10, 2016 at 7:00 p.m.*
- *Architectural Review Commission – Thursday, March 10, 2016 at 7:00 p.m.*

- *Northeast Police Department Commission – Thursday, March 17, 2016 at 7:00 p.m.*
- *Town Council Meeting – Monday, March 21, 2016 at 7:00 p.m.*
- *Administrative Staff Meeting – Monday, April 4, 2016 at 3:00 p.m.*
- *Planning & Zoning Commission – Tuesday, April 5, 2016 at 7:00 p.m.*

## **CERTIFICATION**

I, the undersigned authority, do hereby certify that this Public Meeting Notice was posted on the official bulletin board at the Town Hall of the Town of Cross Roads, Texas on Friday, March 4, 2016 by 5:00 p.m., in accordance with Chapter 551, Texas Government Code.

As authorized by Section 551.071 of the Texas Government Code, this meeting may be convened into closed executive session for seeking confidential legal advice from the Town Attorney on any agenda item listed herein.

This facility is wheelchair accessible and accessible parking spaces are available. For requests, please contact Town Hall at 940-365-9693. Reasonable accommodations will be made to assist your needs.

\_\_\_\_\_  
 Teddi Lee  
 Town Secretary

I certify that the attached notice and agenda of items to be considered by the Town Council of the Town of Cross Roads was removed by me from the front window of the Town of Cross Roads Town Hall, 1401 FM 424, Cross Roads, Texas, on the \_\_\_\_\_ day of \_\_\_\_\_, 2016

\_\_\_\_\_, Title: \_\_\_\_\_